



DEC 22 2023

 FILED FOR RECORD
 AT 12:34 PM

NOTICE OF REGULAR MEETING
DELTA COUNTY COMMISSIONERS COURT

Notice is hereby given that a regular meeting of the Delta County Commissioners Court will be held on Wednesday, the 27th day of December, 2023 at 9:00 A.M. in the City Council Chambers at the City of Cooper City Hall, located at 91 North Side Square, Cooper, Texas, 75432, at which time the Commissioners Court will consider, discuss, and possibly act upon the following agenda items at-wit:

1. Call to Order, Establishment of a Quorum, and Declaration of Public Notices Legally Posted Pursuant to the Open Meetings Act, Texas Government Code, Chapter 551.
 - a. Pledge of Allegiance
 - b. Invocation
2. Public Comments
3. General Announcements
4. Proclamations
 - a. Recognition of Precinct 2 Commissioner Jimmy Sweat's upcoming retirement
5. Discuss and take possible action related to the approval of the minutes for the December 12, 2023 regular meeting.
6. Discuss and take possible action to approve and ratify the payment of financial obligations, including claims, payroll and personnel expenses, and bills.
7. Discuss and take possible action to consider approving changes to the County/District Clerk's schedule of fees, to take effect on January 1, 2024 - Janice Roberts, County/District Clerk
8. Discuss and take possible action to consider approving an Order related to the disbursement of salaries and certain routine office expenses in accordance with Senate Bill 354, authorized by the 86th Legislative Session and in accordance with Local Government Code §113.047 and §154.0235 - Tanner Crutcher, County Judge
9. Bring from the table, discuss and take possible action to record into the minutes of the Commissioners Court a letter from Precinct 2 Commissioner Jimmy Sweat announcing his intent to retire effective December 31, 2023 and discuss the procedure to fill the anticipated vacancy, in accordance with §87.042 of the Texas Local Government Code - Tanner Crutcher, County Judge
10. Discuss and take possible action related to the development of the Courthouse Master Plan by Komatsu Architecture - Tanner Crutcher, County Judge
11. Discuss and take possible action to record into the minutes of the Commissioners' Court the results of the Delta County Appraisal District board of directors election, pursuant to Texas Tax Code §6.03(k) - Tanner Crutcher, County Judge
12. Discuss and take possible action to update the Commissioners Court on Courthouse facility repairs and related projects - Tanner Crutcher, County Judge
13. Sheriff's Jail Report – Charla Singleton, Sheriff
14. Discuss and take possible action, the Commissioners Court to convene into executive session, pursuant to section 551.071 of the Texas Government Code, to consult with legal counsel regarding litigation related to the matter of Texas Opioid Litigation, *County of Delta v. Purdue Pharma, Inc., et al.*, in the 152nd District Court of Harris County, Texas; MDL Master Cause No. 2018-63587 - Tanner Crutcher, County Judge

15. Discuss and take possible action to reconvene back into open session - Tanner Crutcher, County Judge

16. Discuss and take possible action on items discussed in executive session related to settlement offers or other necessary action in the matter of Texas Opioid Litigation; in the 152nd District Court of Harris County, Texas; MDL Master Cause No. 2018-63587, including consideration of authorizing the County Judge or other authorized officials to execute the Settlement participation and release forms regarding settlement offers from Walgreens, CVS, and Walmart in the matter of Texas opioid multi-district litigation for the County in the matter of *County of Delta v. Purdue Pharma, L.P. et al.*

17. Adjourn

The Commissioners Court reserves the right to adjourn into Executive Session at any time during the course of this meeting to discuss any of the matters listed in this agenda, in the order deemed appropriate, as authorized by Chapter 551, Open Meetings, Texas Government Code, Sections 551.071, 551.072, 551.073, 551.074, 551.0745, 551.075 and 551.076, or to seek the advice of its attorney and/or other attorneys representing Delta County on any matter in which the duty of the attorney to the Commissioners Court under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with chapter 551 of the Texas Government Code or as otherwise may be permitted under chapter 551.

In accordance with Title III of the American with Disabilities Act, we invite all attendees to advise us of any special accommodations due to disability. Please submit your request to the County Judge's office as far as possible in advance of the meeting you wish to attend.

Signed this 22nd day of December, 2023

Tanner Crutcher

Tanner Crutcher, County Judge
Delta County, Texas

I, the undersigned County Clerk, do hereby certify that the above Notice of the Regular Meeting of the Delta County Commissioners Court is a true and correct copy of the said Notice, that I received said Notice, and it was posted at the doors of the Delta County Courthouse, a place readily accessible to the general public at all times on the 22 day of Dec., 2023 at 12:34p and said Notice remained so posted continuously for at least 72 hours preceding the scheduled time of the meeting.

Janice Roberts
Janice Roberts, County/District Clerk
Delta County, Texas





PROCLAMATION OF THE COURT

PROCLAMATION OF THE COMMISSIONERS COURT OF DELTA COUNTY, TEXAS PROCLAIMING DECEMBER 27th, 2023 AS JIMMY SWEAT DAY

WHEREAS, Jimmy Sweat began his career with Delta County, Texas on July 16, 1997 as a Road & Bridge Employee for Precinct 2; and,

WHEREAS, Jimmy Sweat was appointed as the County Commissioner of Precinct 2 on December 23, 2019, a position to which he was reelected to in November, 2022 and assumed office for on January 1, 2023; and,

WHEREAS, Commissioners Sweat has been both an exemplary employee and elected official for Delta County for the past 26 years; and,

WHEREAS, Commissioner Sweat has served the citizens of Delta County, the citizens of Precinct 2, and his fellow employees with the utmost respect, dignity, courtesy, and professionalism; and,

WHEREAS, Commissioner Sweat is viewed by his peers and colleagues as a man of integrity, an advocate for the greater good of all, and a man who takes pride in the work that he does and the service that it provides to the citizens of Delta County; and

WHEREAS, the Commissioners Court of Delta County recognizes that Delta County and Precinct 2 is a better place to live, work, and conduct business due to selfless, dedicated officials like Commissioner Sweat; and,

WHEREAS, the Commissioners Court of Delta County wishes to honor Commissioner Jimmy Sweat for his exemplary and dedicated service to Delta County and the citizens that he serves.

NOW, THEREFORE, BE IT RESOLVED that the Commissioners Court of Delta County, duly convened and acting in its capacity as the governing body of Delta County, Texas does hereby proclaim Tuesday, December 27, 2023 as "Jimmy Sweat Day" in honor of his unwavering commitment to the citizens of Delta County and Precinct 2 for the past 26 years.

ADOPTED AND PROCLAIMED THIS 27TH DAY OF DECEMBER, 2023

Tanner Crutcher, County Judge

Morgan Baker, Commissioner Precinct 1
Anthony Roberts, Commissioner Precinct 3

Jimmy Sweat, Commissioner Precinct 2

Mark Brantley, Commissioner Precinct 4

ATTEST:

Janice Roberts, County Clerk



DELTA COUNTY COMMISSIONERS COURT MINUTES

Notice is hereby given that a regular meeting of the Delta County Commissioners Court was held on Tuesday, the 12th day of December, 2023 at 9:00 A.M. in the City Council Chambers at the City of Cooper City Hall, located at 91 North Side Square, Cooper, Texas, 75432,

THOSE THEY WERE IN ATTENDANCE:

Tanner Crutcher, County Judge

Morgan Baker, Commissioner, Precinct 1

Anthony Roberts, Commissioner Precinct 3

Mark Brantley, Commissioner, Precinct 4

1. Call to Order, Establishment of a Quorum, and Declaration of Public Notices Legally Posted Pursuant to the Open Meetings Act, Texas Government Code, Chapter 551.
Meeting was called to order by Judge Tanner Crutcher @ 9:00am
 - a. Pledge of Allegiance **was led by Judge Tanner Crutcher**
 - b. Invocation **was given by Mark Brantley**
2. Public Comments **None**
3. General Announcements **Judge Crutcher reminder about Christmas Luncheon at the Civic Center today 12 PM, Mark Brantley updated that the Solar Farm are working on the roads, Charla informed that the last day to collect toys for the Red & Blue Santa is December 13th**
4. Discuss and take possible action related to the approval of the minutes for the November 14, 2023 regular meeting.

I Commissioner Baker I make the motion to approve the minutes for November 14th, 2023 as presented to the court and Commissioner Brantley Second

Let it be on record that the date of the Minutes should say November 28, 2023

COURT VOTES - 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

5. Discuss and take possible action to approve and ratify the payment of financial obligations, including claims, payroll and personnel expenses, and bills.

I Commissioner Brantley make the motion to approve to pay all financial obligations, including claims, payroll and personnel expenses as presented to the court and Commissioner Baker Second

COURT VOTES - 3 TO 0 - AYES HAVE IT, MOTION CARRIED

6. **VOL QQ** Discuss and take possible action to consider approving a Resolution adopting, updating, and reviewing the Delta County Investment Policy and Investment Strategies - Tanner Crutcher, County Judge

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I Commissioner Baker I make the motion to approve the Resolution adopting, updating and reviewing the Delta County Investment Policy as presented to the court and Commissioner Roberts Second

COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

7. Discuss and take possible action on a request from the Sheriff, pursuant to §721.005 of the Texas Transportation Code, to approve a Resolution designating certain vehicles used by the Delta County Sheriff's Office to be exempt from the inscription requirements of §721.004 of the Texas Transportation Code. – Charla Singleton, Sheriff

I Commissioner Brantley I make the motion to approve the Resolution designating certain vehicles to be exempt from the inscription requirements that are driven by the Delta County Sheriff's Department as presented to the court and Commissioner Roberts Second

COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

8. Discuss and take possible action related to authorize the issuance of a county credit card to County Fire Marshal Duane Sprague - Debbie Huie, County Treasurer

I Commissioner Baker I make the motion to approve the issuance of a county credit card to Fire Marshall with a limit of \$1500.00 as presented to the court and Commissioner Roberts Second

COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

9. Discuss and take possible action to record into the minutes of the Commissioners Court a letter from Precinct 2 Commissioner Jimmy Sweat announcing his intent to retire effective December 31, 2023 and discuss the procedure to fill the anticipated vacancy, in accordance with Section 87.042 of the Texas Local Government Code - Tanner Crutcher, County Judge

I Commissioner Baker I make the motion to approve the recording of the resignation letter from Commissioner Precinct 2 Jimmy Sweat and to table any other discussion until later date as presented to the court and Commissioner Brantley Second

COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

10. Discuss and take possible action related to the approval of an amendment of a services agreement, originally approved on January 10, 2023 with CRW Associates, Inc. for professional services related to facilities maintenance, repair, and construction consultant, to include permitting expenses related to education and training expenses required by Delta County, and authorize the County Judge to execute and sign the amended agreement – Tanner Crutcher, County Judge

I Commissioner Brantley I make the motion to approve the amendment of a service agreement with CRW Associates as presented to the court and Commissioner Roberts Second

COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

11. **VOL QQ** Discuss and take possible action related to authorizing the County Treasurer and staff to issue payment to E3 Entegral Solutions in the amount of \$65,458.00 from line-item 010-355-300 (Unforeseen Grant Rev. - State) for the LED lighting retrofit project at the Delta County Courthouse, Jail, Civic Center, and Public Library. The project is associated with a reimbursable State Energy Commission Office (SECO) loan/grant program - Tanner Crutcher, County Judge
I Commissioner Brantley I make the motion to approve the County Treasurer to issue a check to E3 Entegral Solutions in the amount of \$65,458.00 for the LED Lighting project as presented to the court and Commissioner Baker Second
COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

12. Discuss and take possible action to consider approving a resolution authorizing an Advance Funding Agreement (AFA) between the Texas Department of Transportation Page 1 of 2 (TxDOT) and Delta County for a bridge replacement or rehabilitation on CR 1150, situated in Precinct 1, and to authorize the County Judge to execute and sign the agreement - Morgan Baker, Commissioner, Precinct 1
I Commissioner Baker I make the motion to approve the Resolution authorizing an Advance Funding Agreement between Texas Department of Transportation and Delta County and for the County Judge to sign all needed documents as presented to the court and Commissioner Brantley Second
COURT VOTES – 3 TO 0 - AYES HAVE IT, MOTION CARRIED.

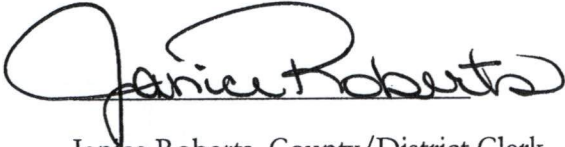
13. Discuss and take possible action related to the development of the Courthouse Master Plan by Komatsu Architecture - Tanner Crutcher, County **NO ACTION NEEDED**
14. Discuss and take possible action to update the Commissioners Court on Courthouse facility repairs and related projects - Tanner Crutcher, County Judge **NO ACTION NEEDED**
Led Lighting for the most part is complete. Elevator still not working, and they will be sending a master technician to look at it, the city worked 3 days on repairing a water leak on the east side of the courthouse.
15. Sheriff's Jail Report – Charla Singleton, Sheriff **Total of 20 Inmates in jail, still short 2 deputies**
16. Discuss and take possible action, the Commissioners Court to convene into executive session, pursuant to section 551.071 of the Texas Government Code, to consult with legal counsel regarding litigation related to the matter of Texas Opioid Litigation, *County of Delta v. Purdue Pharma, Inc., et al.*, in the 152nd District Court of Harris County, Texas; MDL Master Cause No. 2018-63587 - Tanner Crutcher, County Judge **NO ACTION NEEDED**
17. Discuss and take possible action to reconvene back into open session - Tanner Crutcher, County Judge **NO ACTION NEEDED**

18. Discuss and take possible action on items discussed in executive session related to settlement offers or other necessary action in the matter of Texas Opioid Litigation; in the 152nd District Court of Harris County, Texas; MDL Master Cause No. 2018-63587, including consideration of authorizing the County Judge or other authorized officials to execute the Settlement participation and release forms regarding settlement offers from Walgreens, CVS, and Walmart in the matter of Texas opioid multi-district litigation for the County in the matter of *County of Delta v. Purdue Pharma, L.P. et al.* **NO ACTION NEEDED**

19. Adjourn @ 9:37 am

**Commissioner Baker I make the motion to adjourn this meeting and
Commissioner Brantley Second**

COURT VOTES – 3 TO 0 – AYES HAVE IT, MOTION CARRIED



Janice Roberts, County/District Clerk
Delta County, Texas

THIS IS TO CERTIFY THAT I, JANICE ROBERTS, COUNTY CLERK DO HEREBY CERTIFY TO THE CORRECTNESS OF THE COMMISSIONER MINUTES FOR THE REGULAR MEETING ON DECEMBER 12th, 2023 MEETING.

ON THIS DAY 27th OF December 2023.

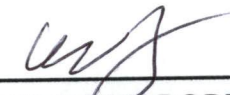


TANNER CRUTCHER, COUNTY JUDGE




MORGAN BAKER, COMM. PCT. 1


JIMMY SWEAT, COMM. PCT. 2



ANTHONY ROBERTS, COMM. PCT. 3



MARK BRANTLEY, COMM. PCT. 4



JANICE ROBERTS, COUNTY CLERK

SCHEDULE OF BILLS BY FUND

FUND	DESCRIPTION	DISBURSEMENTS
010	GENERAL FUND	78,588.97
021	ROAD & BRIDGE PCT#1	4,010.25
022	ROAD & BRIDGE PCT#2	573.13
023	ROAD & BRIDGE PCT#3	8,580.58
024	ROAD & BRIDGE PCT#4	1,921.72
TOTAL OF ALL FUNDS		93,674.65

THE PRECEDING LIST OF BILLS PAYABLE WAS REVIEWED AND APPROVED FOR PAYMENT BY COMMISSIONER'S COURT.

DATE:

12-27-2023

TANNER CRUTCHER



MORGAN BAKER

JIMMY SWEAT

ANTHONY ROBERTS

MARK BRANTLEY

DEBBIE HUIE



 Mark Brantley
 Debbie Huiie

Effective Date January 1, 2024
 Delta County & District Clerk Office
 Janice Roberts
 200 W. Dallas Ave. Cooper, TX 75432
 (903) 395-4400 x 222

Real Property Recording		
Recording Fee (first page)	LGC §118.011	\$ 5.00
Records Management	LGC §118.011(b)(2)	\$ 10.00
Records Archive	LGC §118.011(f)	\$ 10.00
	TOTAL (first page only)	\$ 25.00
Each additional page or part on which there are visible marks of any kind	LGC §118.011(a)(1) (each page after)	\$ 4.00
Each additional name to be indexed in excess of five (5)	LGC §118.011(a)(2)	\$.25
<p>Texas Property Code 11.003, effective Jan. 1, 1982: Requires that each grantee's mailing address be in or attached to any document conveying real property executed after December 31, 1981. <i>If address of each grantee is not included, the payment of a penalty filing fee equal to the greater of (1) twice the statutory filing fee for the filing of such document with the County Clerk or (2) \$25.00 will be required. This fee is in addition to regular filing fees.</i> LGC 191.007(c)(h): Provides double the filing fee for that page if there is not a clearly identifying heading, similar to the headings on most printed forms, must be placed at the top of the first page to identify the type or kind of legal paper. LGC 191.007(e)(h): Provides double the filing fee for that page if names are not legibly typed or printed immediately under each signature. LGC 191.007 (3): Printed in type no smaller than 8 point type. Property Code 12.001(b) & 12.011: Must have live signature and proper acknowledgement.</p>		
PLATS / MAPS / REPLATS		
Recording Fee	LGC § 118.011(c)	\$ 40.00
Record Management	LGC § 118.011(b)(2)	\$ 10.00
Record Archive	LGC § 118.011(f)	\$ 10.00
	TOTAL	\$ 70.00
Plat with extra pages	fee per extra page	\$ 10.00
COPIES		
Copies (Per Page)	LGC § 118.011(a)(4) & LGC §118.0145	\$ 1.00
CERTIFIED COPIES		
Copies (Per Page)	LGC § 118.011(a)(4) & LGC §118.0145	\$ 1.00
Certification (Per Document)	LGC § 118.011(a)(3) & LGC §118.0145	\$ 5.00
AUTHENTICATED COPIES		
Certification (Clerk certifies twice)	LGC § 118.011(a)(3) & LGC §118.0145	\$ 10.00
OPR CD'S each (weekly or monthly)		
Weekly	LGC § 118.011(c)	\$ 10.00
Monthly	LGC § 118.011(c)	\$ 25.00
FACSIMILE COPIES		
Fee per page (in addition to the cost of copy)		\$ 2.00

RETURNED CHECK FEE		
Returned check fee		
	TOTAL	\$ 30.00
ASSUMED NAME CERTIFICATE		
Applications available on the county website www.deltacountytx.com or in the Clerk's Office		
Recording Fee (includes index of 2 names) (indexing of Business & 1 Owner Name)	TX Business & Commerce Code § 71.155(a)(1)(2)	\$ 4.00
Record Management	LGC § 118.011(b)(2)	\$ 10.00
Record Archive	LGC § 118.011(f)	\$ 10.00
Oath Administration	LGC § 118.011(a)(10)	\$ 1.00
	TOTAL	\$ 25.00
<i>EACH ADDITIONAL NAME INDEXED</i>	TX Business & Commerce Code § 71.115(a)(2)	\$.50
* Effective 9/1/2019 – Corporations, LLC, LP will only be filed in the Secretary of State per Bus & Comm Code 71.103*		
ASSUMED NAME ABANDONMENT		
Applications available on the county website www.deltacountytx.com or in the Clerk's Office		
Recording Fee (index of Business & 1 Owner Name)	TX Business & Commerce Code § 71.155	\$ 4.00
Record Management	LGC § 118.011(b)(2)	\$ 10.00
Record Archive	LGC § 118.011(f)	\$ 10.00
Oath Administration	LGC § 118.011(a)(10)	\$ 1.00
	TOTAL	\$ 25.00
<i>EACH ADDITIONAL NAME INDEXED</i>		\$.50
POSTING Trustee/Foreclosure Sales/Public Notices		
Recording Fee	TX Property Code § 51.002(f)	\$ 5.00
	TOTAL	\$ 5.00
<p>Notices of Trustee and Foreclosure Sales will be posted on the website as soon as possible. The sales are held on the Eastside steps of the Courthouse.</p>		
CATTLE BRAND APPLICATION/RELEASE OF OWNERSHIP		
Applications available on the county website www.deltacountytx.com or in the Clerk's Office		
Recording Fee (one brand/one location/one animal type)	LGC § 118.020(a)(9) & TX Ag Code § 144.110	\$ 5.00
Record Management	LGC § 118.011(b)(2)	\$ 10.00
Record Archive	LGC § 118.011(f)	\$ 10.00
	TOTAL	\$ 25.00
<i>Each Additional Brand /Location/Animal type</i>		\$ 25.00

MILITARY DISCHARGE (DD214)		
FILING	LGC §192.002(b)	No Charge
CERTIFIED COPY	GC § 603.003(a)	No Charge
<i>Thank you for your service!</i>		
BIRTH CERTIFICATES		
Applications available on the county website www.deltacountytx.com or in the Clerk's Office		
Search/Certificate/County Clerk Fee	LGC§ 118.015(a), TAC § 181.22, HSC §191.0045	\$ 20.20
Vital Statistics Fee	HSC § 191.0045	\$ 1.80
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 1.00
	TOTAL	\$ 23.00
DEATH CERTIFICATES		
<i>Delta County Only</i>		
Applications available on the county website www.deltacountytx.com or in the Clerk's Office		
Search/Certificate/County Clerk Fee	LGC § 118.015(a), TAC § 181.22(b)(s), HSC § 191.0045	\$ 20.00
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 1.00
	TOTAL	\$ 21.00
Each Additional Copy	<i>Ordered at the same time</i>	
County Clerk Fee	HSC § 191.0045	\$ 3.00
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 1.00
	TOTAL	\$ 4.00
INFORMAL MARRIAGE LICENSE		
License Fee	LGC § 118.011(a)(8)	\$ 25.00
Records Management	LGC § 118.011(b)(2)	\$ 10.00
Records Archive Fee	LGC § 118.011(f)	\$ 10.00
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 1.00
	TOTAL	\$ 46.00
MARRIAGE LICENSE <i>without</i> Texas Premarital Education Certificate		
License Fee	LGC § 118.011(a)(7)	\$ 60.00
Records Management	LGC § 118.011(b)(2)	\$ 10.00
Records Archive Fee	LGC § 118.011(f)	\$ 10.00
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 1.00
72 hour waiting period from date of application <i>before</i> the license can be used.		
	TOTAL	\$ 81.00
MARRIAGE LICENSE <i>with</i> Texas Premarital Education Certificate		
License Fee	LGC § 118.011(a)(7)	\$ <i>waived</i>
Records Management	LGC § 118.011(b)(2)	\$ 10.00
Records Archive Fee	LGC § 118.011(f)	\$ 10.00
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 1.00
72 hour waiting period is <i>waived</i>.	TOTAL	\$ 21.00
CERTIFIED COPY of MARRIAGE LICENSE: <i>Delta County Only</i>		
Search/Certificate/County Clerk Fee	TAC § 181.22(h)(s), HSC § 191.0045	\$ 5.00
Vital Statistics Preservation Fee	HSC § 191.0045	\$ 2.00
	TOTAL	\$ 7.00
WILLS FOR SAFEKEEPING		
Records Management	LGC § 118.052(3)(E)	\$ 5.00
Records Archive Fee	LGC § 118.011	\$ 5.00
	TOTAL	\$ 10.00

Original filing of Probate of Will, Guardianship, Muniment of Title, Foreign Wills, Small Estate		
Probate Fee Original Action	LGC § 135.102(b)(3)	\$ 40.00
Records Management/Preserv Fee	LGC § 135.102(b)(4)	\$ 15.00
Courthouse Security Fee	LGC § 135.102(b)(7)	\$ 20.00
Law Library	LGC § 135.102(b)(6)	\$ 35.00
Facility Fee	LGC § 135.102(b)(2)	\$ 20.00
Court Initiated Guardianship Fund	LGC § 135.102(b)(11)	\$ 20.00
Public Probate Administration Fund	LGC § 135.102(b)(13)	\$ 10.00
Jury Fee	LGC § 135.102(b)(9)	\$ 10.00
Dispute Resolution	LGC § 135.102(b)(10)	\$ 15.00
Language Access Fee	LGC § 135.102(b)(8)	\$ 3.00
Court Reporter Fee	LGC § 135.102(b)(5)	\$ 25.00
Appellate Judicial System Fee	LGC § 135.102(b)(1)	\$ 5.00
Judicial Education and Support Fund	LGC § 135.102(b)(12)	\$ 5.00
	TOTAL	\$ 223.00
	Plus Fees to State Comptroller	\$ 137.00
	GRAND TOTAL	\$ 360.00
ADDITIONAL SERVICE FEES		
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH) (POST)	LGC § 118.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Judge's Fee	LGC § 118.101	\$ 2.00
Approving & Recording of Bond	LGC § 118.052(2)(A)(ii)	\$ 5.00
Administering Oath	LGC § 118.052(2)(A)(iii)	\$ 2.00
Letters of Testamentary, Administration, Ancillary or Guardianship (each)	LGC § 118.052(3)(D)	\$ 2.00
Any Action Filed After Original Application has been Filed		
Filing of action other than original	LGC § 135.102(c)(1)	\$ 40.00
Records Management	LGC § 135.102(c)(4)	\$ 5.00
Court Initiated Guardianship Fund	LGC § 135.102(b)(11)	\$ 20.00
Public Probate Administration Fund	LGC § 135.102(b)(13)	\$ 10.00
	TOTAL	\$ 75.00
	Plus Fees to State Comptroller	\$ 45.00
	GRAND TOTAL	\$ 120.00
ADDITIONAL SERVICE FEES		
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH)(POST)	LGC § 118.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Judge's Fee	LGC § 118.101	\$ 2.00
Inventory, Appraisal and list of Claims (Filed late after 90th day after Qualification Date)		
Filing Fee	LGC § 118.052(2)(A)(i)	\$ 25.00
Judge's Fee if required	LGC § 118.101(11)	\$ 2.00
	TOTAL	\$ 27.00
Final Acct of Probate/Guardianship (ESTATE) (must be notarized)		
Filing Fee	LGC § 118.052(2)(A)(iv)	\$ 25.00
Judge's Fee	LGC § 118.101(11)	\$ 2.00
Sheriff's Fee & COPY	LGC § 181.131 / LGC § 118.052(3)(A)	\$ 88.00
	TOTAL	\$ 115.00
Annual OR Final Report of Guardianship (PERSON ONLY) (must be notarized)		
Filing Fee	LGC § 118.052(2)(A)(vi)	\$ 10.00
Judge's Fee	LGC § 118.101(11)	\$ 2.00
	TOTAL	\$ 12.00
Annual Account of Probate/Guardianship (ESTATE) (must be notarized) (MUST SIT 10 DAYS)		
Filing Fee	LGC § 118.052(2)(A)(iv)	\$ 25.00
Judge's Fee	LGC § 118.101(11)	\$ 2.00
	TOTAL	\$ 27.00

Application for Sale of Real or Personal Property		
Filing Fee	LGC § 118.052(2)(A)(v)	\$ 25.00
Judge's Fee	LGC § 118.101(11)	\$ 2.00
Sheriff's Fee & COPY	LGC § 181.131 / LGC § 118.052(3)(A)	\$ 88.00
	TOTAL	\$ 115.00
Claim (paid by the Claimant at time of filing)		
Filing Fee	LGC § 118.052(2)(B)	\$ 10.00
If Judge's Order to approve is requested	LGC § 118.101(11) add	\$ 2.00
Citations by Publication in Newspaper		
Printing		(contact newspaper for fee)
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH)	LGC § 181.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Civil Fees (DOES NOT INCLUDE CITATION)		
Delinquent Tax Case, Occupational License/Hardship License, Foreign Judgments, Transfer from another County		
Civil Fee Original Action	LGC § 135.101(b)(3)	\$ 50.00
Records Management/Preserv Fee	LGC § 135.101(b)(4)	\$ 30.00
Courthouse Security Fee	LGC § 135.101(b)(7)	\$ 20.00
Law Library	LGC § 135.101(b)(6)	\$ 35.00
Facility Fee	LGC § 135.101(b)(2)	\$ 20.00
Jury Fee	LGC § 135.101(b)(9)	\$ 10.00
Dispute Resolution	LGC § 135.101(b)(10)	\$ 15.00
Language Access Fee	LGC § 135.101(b)(8)	\$ 3.00
Court Reporter Fee	LGC § 135.101(b)(5)	\$ 25.00
Appellate Judicial System Fee	LGC § 135.101(b)(1)	\$ 5.00
	TOTAL	\$ 213.00
	Plus Fees to State Comptroller	\$ 137.00
	GRAND TOTAL	\$ 350.00
Additional Service Fees		
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH) (POST)	LGC § 181.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Judge's Fee	LGC § 118.101	\$ 2.00
Any Action Filed After Original Application has been Filed		
Filing of action other than original	LGC § 135.101(c)(1)	\$ 15.00
Records Management	LGC § 135.101(c)(2)	\$ 20.00
	TOTAL	\$ 35.00
	Plus Fees to State Comptroller	\$ 45.00
	GRAND TOTAL	\$ 80.00
Additional Service Fees**		
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH)(POST)	LGC § 181.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Judge's Fee	LGC § 118.101	\$ 2.00
		\$ 350.00
Nondisclosure Petition: Filing fees the same as a regular Civil Filing		
Plus any Additional Service Fees as needed		
Order of Nondisclosure: Automatic – Issued under 411.072 Gov. Code		\$ 28.00
Plus any Additional Service Fees as needed		
Expunction of Criminal Records: Filing fees the same as a regular Civil Filing		\$ 350.00
Agency to be notified (\$18.00 per Agency – excludes clerk)		\$ 18.00**
**Notice – includes \$1.00 for Notice + \$7.50 postage		
**Order – includes \$2.00 for Certified Order + \$7.50 postage		
NOTE: If the defendant is acquitted & files within 30 days, No filing fees are to be assessed (CCP 102.006)		
Writs, Citation, Subpoenas, Garnishment		
Service of Writ (Sheriff's Fee) LGC § 181.131		\$ 150.00

<i>Must have separate check made payable to the Delta County Constable</i>		
Issue of Citation & Copy (each)	LGC § 118.052(3)(A)	\$ 8.00
Family Law Fees (DOES NOT INCLUDE CITATION)		
Civil Fee Original Action	LGC § 135.101(b)(3)	\$ 50.00
Records Management/Preserv Fee	LGC § 135.101(b)(4)	\$ 30.00
Courthouse Security Fee	LGC § 135.101(b)(7)	\$ 20.00
Law Library	LGC § 135.101(b)(6)	\$ 35.00
Facility Fee	LGC § 135.101(b)(2)	\$ 20.00
Jury Fee	LGC § 135.101(b)(9)	\$ 10.00
Dispute Resolution	LGC § 135.101(b)(10)	\$ 15.00
Language Access Fee	LGC § 135.101(b)(8)	\$ 3.00
Court Reporter Fee	LGC § 135.101(b)(5)	\$ 25.00
Appellate Judicial System Fee	LGC § 135.101(b)(1)	\$ 5.00
	TOTAL	\$ 213.00
	Plus Fees to State Comptroller	\$ 137.00
	GRAND TOTAL	\$ 350.00
Additional Service Fees		
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH) (POST)	LGC § 181.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Judge's Fee	LGC § 118.101	\$ 2.00
Any Action Filed After Original Application has been Filed		
Filing of action other than original	LGC § 135.101(c)(1)	\$ 15.00
Records Management	LGC § 135.101(c)(2)	\$ 20.00
	TOTAL	\$ 35.00
	Plus Fees to State Comptroller	\$ 45.00
	GRAND TOTAL	\$ 80.00
Additional Service Fees**		
Issuing Citation & One Copy	LGC § 118.052(3)(A)	\$ 8.00
Posting/Service of Citations (EACH)(POST)	LGC § 181.131	\$ 80.00
	TOTAL FOR EACH CITATION	\$ 88.00
Judge's Fee	LGC § 118.101	\$ 2.00
		\$ 350.00
Adoption: Adult or Child		
Plus any Additional Service Fees as needed		\$ 350.00
Divorce: With or Without Children		
Plus any Additional Service Fees as needed		\$ 350.00
Foreign Judgment		
Plus any Additional Service Fees as needed		\$ 350.00
Name Change		
Plus any Additional Service Fees as needed		\$ 350.00
Protective Order Application		
Plus any Additional Service Fees as needed		\$ 350.00
Suit Affecting Parent-Child Relationship (SAPCR)		
Plus any Additional Service Fees as needed		\$ 350.00
Transfer of Case from Another County – Not a SAPCR		
Plus any Additional Service Fees as needed		\$ 80.00
Transfer of Case from Another County – SAPCR		
Plus any Additional Service Fees as needed		\$ 350.00
UIFSA Case (Uniform Interstate Family Support Act)		
Plus any Additional Service Fees as needed		\$ 350.00
Writs, Citation, Subpoenas, Garnishment		
Service of Writ (Sheriff's Fee)	LGC § 181.131	\$ 150.00
<i>Must have separate check made payable to the Delta County Constable</i>		
Issue of Citation & Copy (each)	LGC § 118.052(3)(A)	\$ 8.00

County Criminal Class A or B Misdemeanor Base Fees		
Clerk of the Court Account		\$ 40.00
Records Management and Preservation Fund		\$ 25.00
Account for Prosecutor's Fee		\$ 20.00
County Jury Fund		\$ 1.00
Courthouse Security Fund		\$ 10.00
County and District Court Technology Fund		\$ 4.00
Court Reporter Service Fund		\$ 3.00
County Specialty Court Account		\$ 20.00
	TOTAL	\$ 123.00
	Plus Fees to State Comptroller	\$ 147.00
	GRAND TOTAL	\$ 270.00
	**Offense could make Fees go up to	\$ 370.00
District Criminal Felony Base Fees		
Clerk of the Court Account		\$ 40.00
Records Management and Preservation Fund		\$ 25.00
County Jury Fund		\$ 1.00
Courthouse Security Fund		\$ 10.00
County and District Court Technology Fund		\$ 4.00
County Specialty Court Account		\$ 25.00
	TOTAL	\$ 105.00
	Plus Fees to State Comptroller	\$ 185.00
	GRAND TOTAL	\$ 290.00
	** Offense could make Fees go up to	\$ 390.00

State of Texas §
County of Delta §

Order for Disbursement of Salaries and Routine Office Expenses


Whereas, Senate Bill 354, 86th Legislative Session effective May 31, 2019, provides that county funds previously budgeted for salaries and authorized office expenses may be disbursed as payment for a salary or routine office expenses; and

Whereas, the Commissioners Court of Delta County, Texas wishes to implement the provisions of this Act; now

It is hereby Ordered as follows:


1. County funds previously budgeted for salaries for officers and employees, including payroll, personnel expenses, retirement, health insurance expenses, unemployment, and payroll taxes, shall be disbursed by the county payroll officer upon submission of all necessary payroll information by the appropriate department head or supervisor;
2. County funds previously budgeted for routine office supplies expenses under \$1,000.00, for utilities expenses under \$5,000.00, for equipment repairs under \$10,000.00, for credit card expenses under \$5,000.00, and for fuel expenses under \$10,000.00 shall be disbursed by the County Treasurer, or his/her designee, upon submission of a proper voucher.

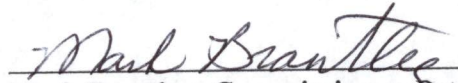
Adopted this 27th day of December, 2023 by a vote of 4 ayes and 0 nays.

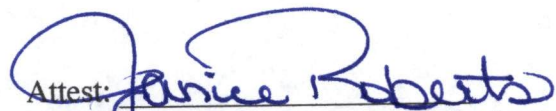

Tanner Crutcher, County Judge


Morgan Baker, Commissioner, Pct. 1

Jimmy Sweat, Commissioner, Pct. 2


Anthony Roberts, Commissioner, Pct. 3


Mark Brantley, Commissioner, Pct. 4

Attest: 
Janice Roberts, County/District Clerk

Riddle & Goodnight Inc.**Construction Cost Estimates / Construction Specifications**

1155 Mary Drive
Weatherford, Texas 76085
817.946.7825
www.riddle-goodnight.com

PROJECT: Delta County Texas Courthouse - Masterplan**Architect: Komatsu Architecture****DATE: December 18th, 2023****OPINION OF PROBABLE COST - OVERVIEW**

This Opinion of Probable Cost (OPC) has been prepared at the request of Komatsu Architects for the purpose of establishing an opinion of probable cost for the Delta County Courthouse located at 200 W. Dallas Avenue Cooper, Texas 75432

The OPC utilizes the Construction Specification Institute's 16 Division Format to categorize the building's construction components on a unit cost basis in accordance with recognized construction industry standards.

The OPC has been prepared using information provided by the project's Architect and his consultants. The level of detail and the accuracy of the pricing used are consistent with the current completeness of the Drawings, Specifications, and other documents provided to us for use in preparing the OPC. Assumptions were made with respect to the quality of some construction materials, the risk of unforeseen project conditions, and unknown quantities not currently identified or anticipated on the Drawings.

Unit costs used in the OPC are based on current industry pricing published by nationally recognized data providers in the construction industry. Location factors have been incorporated to track the Delta County, Texas area in the 4th quarter of 2023.

General Contractor and subcontractor bonds, overhead & profit are included. General Conditions, mobilization, insurance, and bond are included.

An estimating contingency of 15% is included for unknown conditions that will be encountered.

State of Texas material sales tax is excluded.

Escalation for predicted inflation costs are excluded.

Items which are not in this OPC include, but are not limited to:

- Professional design and consulting fees
- Program or project budgetary expenses incurred by the Owner
- Owner's field testing costs
- Owner-furnished items other than the finishing and relocation items listed in Division 12
- Cost factors for work acceleration or bonus incentive clauses

Items which could change the OPC include, but are not limited to:

- Modifications to the scope of work detailed in this OPC
- Unforeseen sub-surface site conditions
- Restrictive technical specifications or excessive contract conditions
- Non-competitive bids received by Owner due to location and nature of the project
- Contractor methods of construction
- Construction time limitations imposed by Owner
- Excessive weather conditions prohibiting construction activity

This Opinion of Probable Cost has been based upon competitive bid situations for all items of subcontracted work and a minimum of 3 competent bids being received from General Contractors. *Guaranteed-Maximum, CM-at-Risk or other construction procurement methods the Owner might employ should be reviewed and evaluated.*

Riddle and Goodnight Inc. has no control over the cost of labor and materials, the General Contractor's or any subcontractor's method of determining prices, or competitive bidding and market conditions. This OPC is made on the basis of the experience, qualifications, and best judgement of a professional consultant familiar with the construction industry, utilizing accepted principles and practices. Riddle and Goodnight, Inc. cannot and does not guarantee that proposals, bids, or actual construction costs.

Division 1 - General Requirements					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
General Conditions and Requirements					
Included on the Summary page @ 12.5%					
Division 1 Subtotal					

Division 2 - Existing Conditions and Sitework					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Architectural and Structural Demolition					
Hazardous Materials					
Abate all hazardous materials throughout building per HazMat Report. Placeholder 12-18-2023	1	ls	\$650,000.00	\$650,000.00	\$720,005.00
Intrusive Element					
Remove intrusive partition walls at basement.	2055	sf	\$4.36	\$8,959.80	\$9,924.77
Remove deteriorated restrooms at basement, includes plumbing removal	498	sf	\$60.00	\$29,880.00	\$33,098.08
Remove intrusive drop ceilings at all offices and all floors.	21027	sf	\$0.72	\$358.56	\$397.18
Remove intrusive drop ceiling at District Courtroom.	2804	sf	\$0.72	\$15,139.44	\$16,769.95
Maintain existing historic plaster throughout building, remove intrusive skim coat at all walls and ceilings to historic finish per Finishes Conservator's recommendations. Typical throughout building.	105000	sf	\$0.85	\$89,250.00	\$98,862.23
Space Planning / Code Compliance					
Remove partition walls at first floor for redesign of former Tax Assessor's office as service space.	390	sf	\$4.36	\$1,700.40	\$1,883.54
Remove partition walls at second floor for redesign of former Justice of the Peace office as service space.	214	sf	\$4.36	\$933.04	\$1,033.53
Remove fixtures and associated plumbing at second floor single user restrooms.	160	sf	\$30.00	\$4,800.00	\$5,316.96
Remove deteriorated finishes at <u>third floor ceilings</u> from previous roof leak.	1740	sf	\$3.75	\$6,525.00	\$7,227.75
Demolition of selective partitions	4751	sf	\$4.36	\$20,714.36	\$22,945.30
Demo floor coverings	23831	sf	\$2.06	\$49,091.86	\$54,379.05
Mask cover and protection at interior, allowance	1	ls	\$15,000.00	\$15,000.00	\$16,615.50
<i>(See Div. 7 for all roofing demolition)</i>					
Code Compliance / Means of Egress					
Reopen window at west wall of penthouse for new egress door.	1	ea.	\$3,500.00	\$3,500.00	\$3,876.95
Remove entirety of non-code compliant south stair.	292	trd lf	\$170.00	\$49,640.00	\$54,986.23
Cut shaft opening at each floor for redesign of south stair.	390	sf	\$72.00	\$28,080.00	\$31,104.22
Remove Window Units/Doors					
Remove windows for salvage/reuse, protection	122	ea.	\$580.00	\$70,760.00	\$78,380.85
Remove all non-original doors	85	ea.	\$435.00	\$36,975.00	\$40,957.21
Deteriorated Mechanical Systems					
Demolition					
demo water closets	17	ea.	\$85.00	\$1,445.00	\$1,600.63
demo wall mt lavatories	15	ea.	\$60.00	\$900.00	\$996.93
demo water heaters	2	ea.	\$350.00	\$700.00	\$775.39
demo water distribution, 1.5" avg	23831	sf	\$0.35	\$8,340.85	\$9,239.16
demo roof/storm water drain piping	23831	sf	\$0.25	\$5,957.75	\$6,599.40
Load, haul and disposal	200	cy	\$45.00	\$9,000.00	\$9,969.30
Demolition HVAC					
Equipment and controls					
Remove existing HVAC Systems	1	ls	\$35,000.00	\$35,000.00	\$38,769.50
Remove ductwork and air devices	23831	sf	\$2.45	\$58,385.95	\$64,674.12
Exhaust systems	7	ea.	\$335.00	\$2,345.00	\$2,597.56
Remove controls	23831	sf	\$0.36	\$8,579.16	\$9,503.13
Electrical Systems Demolition					
All existing electrical service to be removed/demolished. Remove all existing electrical service switch gear, branch panels, receptacles, and distribution conduit / wiring.					
Demo existing fixtures, non-historic fixtures	23831	sf	\$1.35	\$32,171.85	\$35,636.75
Salvage historic light fixtures and associated wiring, includes protection, crating, storage during construction	23831	sf	\$2.50	\$59,577.50	\$65,994.00
Demo wire, conduit, devices	23831	sf	\$2.25	\$53,619.75	\$59,394.60
Demo panelboards	23831	ea.	\$1.25	\$29,788.75	\$32,996.99
Demo transformers	1	ea.	\$3,500.00	\$3,500.00	\$3,876.95
Debris load, haul, and disposal					
Load, haul and disposal, (included for all architectural and site demo) hauling/all labor/equip, See Demo Div. 15 and Div. 16 for Mechanical and Electrical Load, Haul, and Disposal)	2555	cy	\$55.00	\$140,525.00	\$155,659.55

Sitework and Site Demolition					
Pavement demolition at Parking	50	cy	\$185.00	\$9,250.00	\$10,246.23
Sitework, Renovation and Replacement					
Demolish existing metal ramp. Reconstruct cast-in-place ramp in the same location to conform to TAS requirements for slope, landings with concrete curb/retaining walls. similar to existing. Install new guardrail and TAS compliant handrails.	80	lf	\$1,477.50	\$118,200.00	\$130,930.14
Remove intrusive faux wood coating at north, east, and south exterior porch steps.	1800	sf	\$13.50	\$24,300.00	\$26,917.11
Restore original concrete finish of stairs.	950	sf	\$8.35	\$7,932.50	\$8,786.83
Concrete, 5" sidewalk at North Lawn	222	sy	\$82.00	\$18,204.00	\$20,164.57
Pavement repairs at Parking lot, driveways	10	ea.	\$325.00	\$3,250.00	\$3,600.03
Parking stalls, restripe and paint ADA, signage	240	sf	\$3.35	\$804.00	\$890.59
Restripe loading zone	1	ea.	\$15,000.00	\$15,000.00	\$16,615.50
Dumpster enclosure	6	ea.	\$4,600.00	\$27,600.00	\$27,600.00
Install differentiated but compatible light standards throughout site for added illumination, approximately 3 poles at both the north and south lawns.					
Landscaping & Site Drainage					
Landscaping					
Site grading, rough grade to increase positive drainage at site	2778	sy	\$3.75	\$10,417.50	\$11,539.47
Site grading, fine grade	2778	sy	\$3.10	\$8,611.80	\$9,539.29
Turf replacement	25	msf	\$1,265.00	\$31,625.00	\$41,657.24
Irrigation systems	25000	sf	\$1.10	\$27,500.00	\$36,223.69
Storm Drainage Piping, Regrade at Site, based on typical site size and assumptions.					
Excavation	667	cy	\$32.00	\$21,344.00	\$23,642.75
Gravel fill at drainage	60	cy	\$65.00	\$3,900.00	\$4,320.03
French drain system, 6" HDPE, double wall, perforated	500	lf	\$18.00	\$9,000.00	\$9,969.30
Fittings 40%	1	ls	\$3,600.00	\$3,600.00	\$3,987.72
Drainage, 6" storm drain	150	lf	\$135.00	\$20,250.00	\$22,430.93
Fittings 40%	1	ls	\$8,100.00	\$8,100.00	\$8,972.37
Backfill, general from stockpile, compacted	607	cy	\$35.00	\$21,245.00	\$23,533.09
Division 2 Subtotals Including 10.5% GC O&P				\$1,921,277.82	\$2,137,615.14

Division 3 - Concrete (Interior)					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Concrete at Interior					
Repair deteriorated concrete beams at third floor ceiling damaged in previous roof leak. Structural to review concrete structure during CD development and selective demo for additional repair scope.	120	cy	\$365.00	\$43,800.00	\$48,399.00
Provide new cast-in-place concrete landings at interior south stair.	462	sf	\$44.00	\$20,328.00	\$22,462.44
For any concrete outside of the building structure, refer to Division 2 - Sitework and Existing Conditions					
Division 3 Subtotals Including 10.5% GC O&P				\$64,128.00	\$70,861.44

Division 4 - Masonry							
Description	Qty	Units	Cost Unit	Sub Total	GC Overhead	GC Profit	Total w/O&P
Remove intrusive paint coatings down to original cast stone surface. Repoint and clean entire cast stone base.	3824	sf	\$14.25	\$54,492.00	\$2,452.14	\$3,416.65	\$60,360.79
Repair cracks at north porch cheek walls and associated planters. BASE BID: Maintain 1970s brick cladding. Clean entire brick surface using non-abrasive methods including chemical cleaning and low pressure power washing. Repoint empty or deteriorated joints. Include skyward joints and 20% of surface area for base bid. Includes the cost of scaffolding rental, set up and take down labor.	1	ls	\$9,660.00	\$9,660.00	\$434.70	\$605.68	\$10,700.38
	13000	sf	\$30.77	\$400,010.00	\$18,000.45	\$25,080.63	\$443,091.08
Division 4 Subtotals Including 10.5% GC O&P				\$464,162.00	\$20,887.29	\$29,102.96	\$514,152.25
ALTERNATE OPTION: Remove 1970s brick cladding and cast stone belt courses, keystone, sills, and cornice. Maintain historic cast stone base. Install new cast stone cladding and anchoring system to mimic historic masonry redesign. Includes the cost of scaffolding rental, set up and take down labor.	13000	sf	\$62.77	\$816,010.00	\$36,720.45	\$51,163.83	\$903,894.28
ALTERNATE OPTION DELTA							\$903,894.28

Division 5 - Metals					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Steel lateral bracing allowances	5.0	tons	\$6,200.00	\$31,000.00	\$34,338.70
connections	10%			\$34,338.70	\$3,433.87
add for small joist lot	35%			\$37,772.57	\$13,220.40
Structural to review condition of all door and window lintels. Repair or replace. Prime and Paint.					
Provide thin gauge steel framing at all new partition walls. Refer floor plans.					
Install new steel egress stair assembly from basement to penthouse as illustrated on floor plans.	1	ls	\$45,000.00	\$45,000.00	\$49,846.50
Provide new steel handrails at all exterior and interior stairs per ADA/TAS.	500	lf	\$135.00	\$67,500.00	\$74,769.75
Restore and recondition vault doors. Approximately 3.	3	ea.	\$25,000.00	\$75,000.00	\$83,077.50
Division 5 Subtotals Including 10.5% GC O&P				\$290,611.27	\$314,143.72

Division 6 - Wood and Plastics					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Millwork, protection and restoration					
Review survey all interior woodwork including picture molds, base trim, door/window trim, and wood paneling (District Courtroom) for (a) verification of historic capacity and (b) damage and/or loss. Provide survey of all woodwork; document all historic for replication. Original woodwork is extant in most locations.	23831	sf	\$4.75	\$113,197.25	\$125,388.60
Maintain existing wood base, chair rails, trim, etc. Repair as needed. Restore, refinish. Where missing, reconstruct missing components. Provide dutchmen where needed to make repairs; match species, grain, color and finish. Typical all offices.	23831	sf	\$2.85	\$67,918.35	\$75,233.16
Provide cabinets and built-ins per floor plans and County requirements.	23831	sf	\$3.75	\$89,366.25	\$98,990.99
Division 6 Subtotals Including 10.5% GC O&P				\$270,481.85	\$270,481.85

Division 7 - Thermal and Moisture Protection					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Roofing Coverings					
Maintain existing roofing at main roof and penthouse. (Maintenance/Protection if needed during project)	5920	sf	\$2.75	\$16,280.00	\$18,033.36
In CD development, investigate water leaks above entry doors. Remove and replace roofing and flashing at small flat roofs above entry doors if required.	480	sf	\$60.00	\$28,800.00	\$31,901.76
In CD development, investigate condition of integrated roof drainage system. Design Team to calculate roof drainage requirements and add additional downspouts if required.	5920	sf	\$3.75	\$22,200.00	\$24,590.94
Waterproofing at , (see Div 15 Plumbing for Storm Drainage)					
In CD development, investigate condition of areaways and basement drainage system. Design Team to calculate drainage requirements and replace plumbing.	5920	sf	\$3.90	\$23,088.00	\$25,574.58
Trench perimeter of building and coat foundation wall with bentonite clay approximately 6' below grade. Install below grade french drainage / storm water management system. Back fill trench and repair turf/landscaping as required.	2820	sf	\$30.15	\$85,023.00	\$94,179.98
Exterior sealants, general	23831	sf	\$0.75	\$17,873.25	\$19,798.20
Interior sealants, general	23831	sf	\$0.45	\$10,723.95	\$11,878.92
Division 7 Subtotals Including 10.5% GC O&P				\$136,708.20	\$151,431.68

Division 8 - Openings					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Doors					
Interior Door Units	66	ea.	\$3,300.00	\$217,800.00	\$241,257.06
Add Alt: Exterior Doors - Maintenance and/or Repair	3	ea.	\$4,500.00	\$13,500.00	\$14,953.95
Add Alt: Exterior Doors - Maintenance and/or Repair (1) 3070 HM door unit	1	ea.	\$2,560.00	\$2,560.00	\$2,835.71
Window Systems					
Exterior Wood Windows	62	ea.	\$1,500.00	\$93,000.00	\$103,016.10
Exterior Replacement Windows	60	ea.	\$5,500.00	\$330,000.00	\$365,541.00
Division 8 Subtotals Including 10.5% GC O&P				\$656,860.00	\$727,603.82
Add Alternate Exterior Doors					
Add Alt: Exterior Doors - Maintenance and/or Repair	3	ea.	\$16,055.00	\$48,165.00	\$53,352.38
Add Alt: Exterior Doors - Maintenance and/or Repair (1) 3070 HM door unit	1	ea.	\$6,255.00	\$6,255.00	\$6,928.67
DOOR ALTERNATE DELTA					\$60,281.05

Division 9 - Finishes						
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P	
Floors						
Note the finishes outlined below are pertinent to all interior spaces and are meant to be general and descriptive of the overall restoration program.						
Finishes Restoration	Develop survey and working drawings to identify finishes to be demolished or replaced/preserved and repaired; identify substrates requiring replacement or repairs.					
Concrete Floors	17873	sf	\$9.65	\$172,474.45	\$191,049.95	
Concrete Stairs	625	sf	\$4.65	\$2,906.25	\$3,219.25	
Vinyl Tile Flooring	2979	sf	\$13.80	\$41,110.20	\$45,537.77	
Faux Wood Flooring	2979	sf	\$13.80	\$41,110.20	\$45,537.77	
Carpet	575	sy	\$52.00	\$29,900.00	\$33,120.23	
Ceilings						
Plaster Ceiling	13800	sf	\$16.25	\$224,250.00	\$248,401.73	
Deteriorated Plaster Ceiling	9960	sf	\$24.50	\$244,020.00	\$270,300.95	
Finishes at ceilings	23760	sf	\$2.75	\$65,340.00	\$72,377.12	
Walls						
Plaster Walls	74220	sf	\$5.80	\$430,476.00	\$476,838.27	
Drywall - Blue Board	21450	sf	\$8.25	\$176,962.50	\$196,021.36	
Tile Wainscot	4830	sf	\$10.71	\$51,729.30	\$57,300.55	
Ceramic Tile w/backer	2160	sf	\$15.63	\$33,760.80	\$37,396.84	
Wood Paneling, solid, repair, sand, and refinish	5550	sf	\$3.25	\$18,037.50	\$19,980.14	
General Painting	86102	sf	\$2.25	\$193,729.50	\$214,594.17	
Decorative Paint	4784	sf	\$5.25	\$25,116.00	\$27,820.99	
Decorative / Ornamental Plaster	4784	sf	\$9.25	\$44,252.00	\$49,017.94	
Division 9 Subtotals Including 10.5% GC O&P				\$1,795,174.70	\$1,988,515.03	

Division 10 - Specialties					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Restroom Accessories					
24"/48" mirror	11	ea.	\$341	\$3,751.00	\$4,154.99
Toilet Paper Holder	9	ea.	\$45	\$405.00	\$448.62
Grab Bar 36"	9	ea.	\$94	\$846.00	\$937.11
Grab Bar 42"	9	ea.	\$119.00	\$1,071.00	\$1,186.35
Paper Towel Dispenser	9	ea.	\$90.43	\$813.87	\$901.52
Liquid Soap Dispenser	9	ea.	\$91.38	\$822.42	\$911.00
Room signage	66	ea.	\$175.00	\$11,550.00	\$12,793.94
Install new fire extinguishers and cabinets at each level per building code.	4	ea.	\$835.00	\$3,340.00	\$3,699.72
During CD development, determine in conjunction with Owner if high density file storage is required.					
Division 10 Subtotals Including 10.5% GC O&P				\$22,599.29	\$25,033.25

Division 11 - Equipment					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Not used at this time					
Division 11 Subtotals Including 10.5% GC O&P					

Division 12 - Furnishings					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Document historic furnishing throughout building to include District Courtroom Benches, Railings, Judge's Bench, and Jury Box / Seats. Develop program for retention and protection of all built-in items; remove and store all moveable furniture items.	23831		\$0.75	\$17,873.25	\$19,798.20
Document historic furnishing throughout building to include counters, built-ins, large metal storage tables, and other historic office furniture. Develop program for retention and protection of all built-in items; remove and store all moveable furniture items.	23831		\$0.75	\$17,873.25	\$19,798.20
Document presence of historic window treatments, if any exist.	23831		\$0.35	\$8,340.85	\$9,239.16
Pre-construction moving costs, materials, labor	6250	mh	\$61.50	\$384,375.00	\$425,772.19
Post-construction moving costs, materials, labor	5500	mh	\$61.50	\$338,250.00	\$374,679.53
Storage per month	24	mo.	\$2,600.00	\$62,400.00	\$69,120.48
Division 12 Subtotals Including 10.5% GC O&P				\$829,112.35	\$918,407.76

Division 13 - Special Construction					
Description	Qty	Units	Cost Unit	Total w/O&P	GC Total
Fire Suppression System					
Complete new system, piping, heads, note complicated pipe routing	23831	sf	\$6.35	\$151,326.85	\$167,624.75
Standpipes	23831	sf	\$1.08	\$25,737.48	\$28,509.41
Fire Detection and Alarm System					
Fire Alarm, install complete system	23831	sf	\$3.35	\$79,833.85	\$88,431.95
Lightning Protection					
Lightning Protection System (rooftop)	23831	sf	\$1.16	\$27,643.96	\$30,621.22
Division 13 Subtotals Including 10.5% GC O&P				\$284,542.14	\$315,187.33

Division 14 - Conveying Systems					
Description	Qty	Units	SUB	Sub Total	GC Total
Maintain existing CMU shaft. Install new ADA/TAS compliant electric traction, machine-room less elevator cab and mechanism per manufacturer's standards.	4	stops	\$57,500	\$230,000.00	\$254,771.00
Elevator Finishes					
Paneled walls	350	sf	\$45	\$15,750.00	\$17,446.28
Flooring	60	sf	\$88	\$5,280.00	\$5,848.66
Ceiling	60	sf	\$36	\$2,160.00	\$2,392.63
Light fixtures	2	ea.	\$698	\$1,396.00	\$1,546.35
Division 14 Subtotals Including 10.5% GC O&P				\$24,586.00	\$27,233.92
Add Alternate Elevator shaft (added replacement of elevator shaft)					
Remove existing elevator and shaft. Construction new, larger CMU shaft	2550	sf	\$42	\$107,100.00	\$118,634.67

Division 15 - Mechanical and Plumbing Systems					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Mechanical					
New HVAC Equipment					
Install new VRV heat pump HVAC system throughout building. Conceal all equipment and accessories. Mount condensing units at roof. Conceal refrigerate, condensate, and wiring at interior walls and ceilings. Connect condensate lines to code compliant drainage system.	120	tons	\$4,680.00	\$561,600.00	\$622,084.32
Ductwork					
Ductwork, galvanized	19089	lbs.	\$8.85	\$168,937.65	\$187,132.23
Insulation at ductwork	13500	sf	\$5.75	\$77,625.00	\$85,985.22
Insulation at ductwork	3750	sf	\$11.33	\$42,487.50	\$47,063.41
Exhaust systems at new rest room layouts	9	ea.	\$2,480.00	\$22,320.00	\$24,723.86
Devices, sidewall diffusers, includes opposed blade dampers					
Air devices	23831	sf	\$2.00	\$47,662.00	\$52,795.20
Controls, DDC	23831	sf	\$4.35	\$103,664.85	\$114,829.56
Testing, adjusting, balancing at all systems	23831	sf	\$0.75	\$17,873.25	\$19,798.20
Condensate drainage 1-1/4" avg.	23831	sf	\$1.15	\$27,405.65	\$30,357.23
Plumbing					
The current restroom layout does not meet code requirements or the County's functional needs. The gang restrooms at the basement are out of commission, which leaves two single user restrooms at the basement and second floor to support the building. The proposed floor plans illustrate new restroom facilities that meet the code required fixture county based on occupancy.					
New Plumbing Fixtures					
Water closets, carriers, flush valves	9	ea.	\$3,960.00	\$35,640.00	\$39,478.43
Urinals, carriers, flush valves	10	ea.	\$3,170.00	\$31,700.00	\$35,114.09
Lavatory, carriers, faucets, local drain piping	11	ea.	\$2,960.00	\$32,560.00	\$36,066.71
Electric water cooler, bi-level w/filler, ADA compliant 1st and 2nd floor	2	ea.	\$3,300.00	\$6,600.00	\$7,310.82
Pipe, DCW, main runs, insulated					
DCW piping replacement	18231	sf	\$3.25	\$59,250.75	\$65,632.05
Pipe, DHW, insulated					
Install circulating hot water system at basement to serve all restrooms at all floors.	18231	sf	\$5.25	\$95,712.75	\$106,021.01
Pipe, Vent and Vent-to-Riser, hangers					
VTR piping	23831	sf	\$2.00	\$47,662.00	\$52,795.20
Pipe, Sanitary Sewer Drainage					
Replace all sanitary waste piping	23831	sf	\$4.22	\$100,566.82	\$111,397.87
Pipe, Storm Drainage, Roof Drainage					
Replace all storm and roof drainage	23831	sf	\$4.80	\$114,388.80	\$126,708.48
Division 15 Subtotals Including 10.5% GC O&P				\$1,593,657.02	\$1,765,293.89

Division 16 - Electrical, Communications and Electronic Safety					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Electrical					
Electrical, Safety & Security Demolition					
Power Distribution					
The main distribution panel currently mounted to the exterior of the building. Remove. Install new at basement mechanical room.					
Switchgear, branch panelboards (Relocate MDP to Basement Mechanical Room)	23831	sf	\$4.35	\$103,664.85	\$114,829.56
Wire, conduit, lighting and branch distribution	23831	sf	\$12.50	\$297,887.50	\$329,969.99
Equipment and panel feeders	23831	sf	\$1.25	\$29,788.75	\$32,996.99
New Light Fixtures					
Survey all spaces to document locations of extant historic light fixtures. Evaluate condition.					
Restore all historic light fixtures. If fixtures are missing, replicate to match historic.					
Lighting, interior, historic fixture replacement assumptions based on 25%	5957.75	sf	\$12.00	\$71,493.00	\$79,192.80
Exit lighting, edge lit led	23831	sf	\$1.10	\$26,214.10	\$29,037.35
Emergency lighting, twin beam, led	23831	sf	\$0.55	\$13,107.05	\$14,518.68
Exterior lighting	23831	sf	\$1.50	\$35,746.50	\$39,596.40
Lighting controls, interior	23831	sf	\$1.25	\$29,788.75	\$32,996.99
Lighting controls, exterior	23831	sf	\$0.55	\$13,107.05	\$14,518.68
See Division 2 tab for Site Lighting					
New Power Devices					
Receptacles, duplex and gfci	23831	sf	\$1.10	\$26,214.10	\$29,037.35
Switches, wall mt, lighting	23831	sf	\$2.25	\$53,619.75	\$59,394.60
Communications/Network Data/AV Systems/Fire Alarm					
Data and Network					
Data Infrastructure	20116	sf	\$1.35	\$27,156.60	\$30,081.37
Data connections	20116	sf	\$1.85	\$37,214.60	\$41,222.62
All new data lines and rough-in to be incorporated into restoration design. Telecommunications and internet equipment for all offices and audio/visual systems for Courtrooms should be contained and hidden as part of this phase. Upgrades to existing systems will be further delineated with County and consultants in Phase 2.					
Access Controls					
Install new metal detector and security station at main public entry, includes all material, labor, and equipment (Station must not interfere with the historic elements of the corridor).					
		1 ea.	\$6,500.00	\$6,500.00	\$7,200.05
A/V systems - need scope of work see below					
A/E should include fee for CD development includes a performance specification for A/V systems. If additional analysis and design is required, Owner to consult third party A/V designer to develop a scope of work.					
Security System, install complete system					
	23832	sf	\$2.65	\$63,154.80	\$69,956.58
Division 16 Subtotals Including 10.5% GC O&P				\$834,657.40	\$917,748.23

Delta County Courthouse Cladding Options and Restoration Periods

Option 1:

Restoration Period 1942

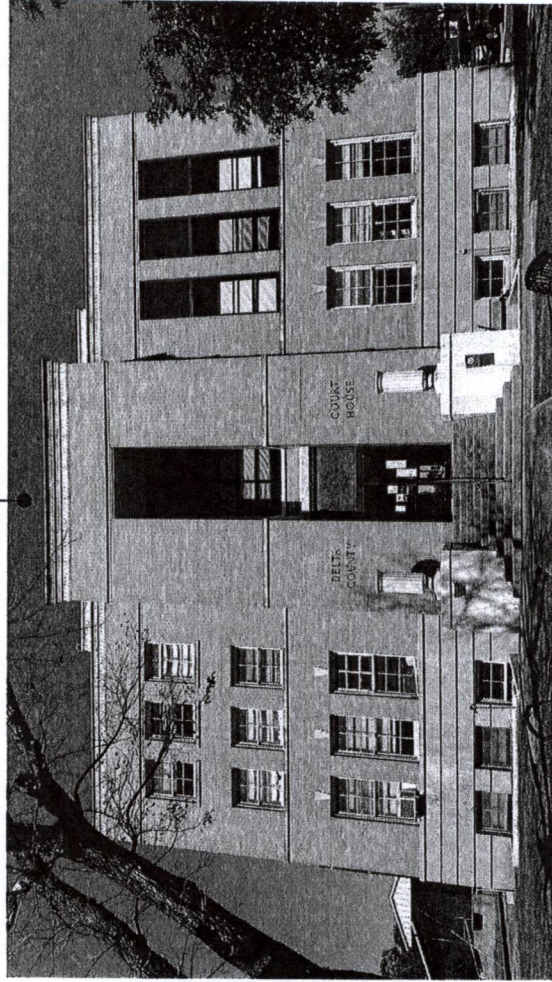
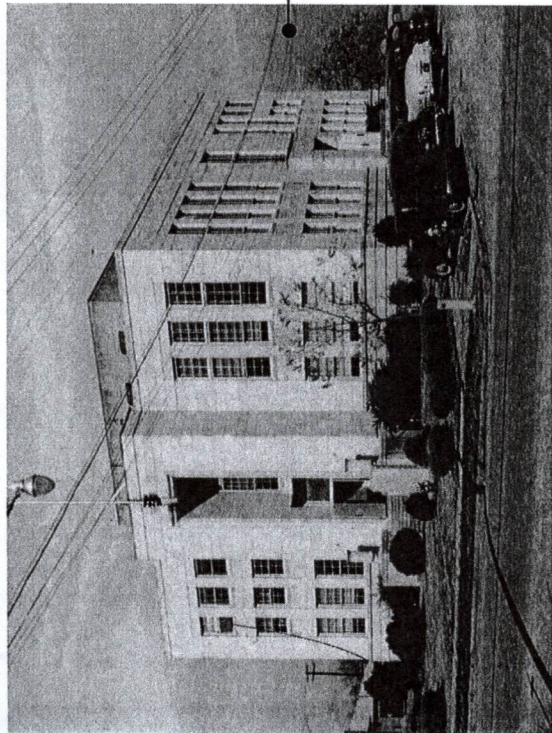
- Remove existing brick cladding.
- Reconstruct original cast stone design.
- Eligible for THCPP grants for Round 13 / 2024.

Option 2:

Restoration Period 1978

(installation date of brick cladding)

- Maintain existing brick cladding.
- Historic Age (50 years or older) – 2028
- Eligible for THCPP grants in 2028.

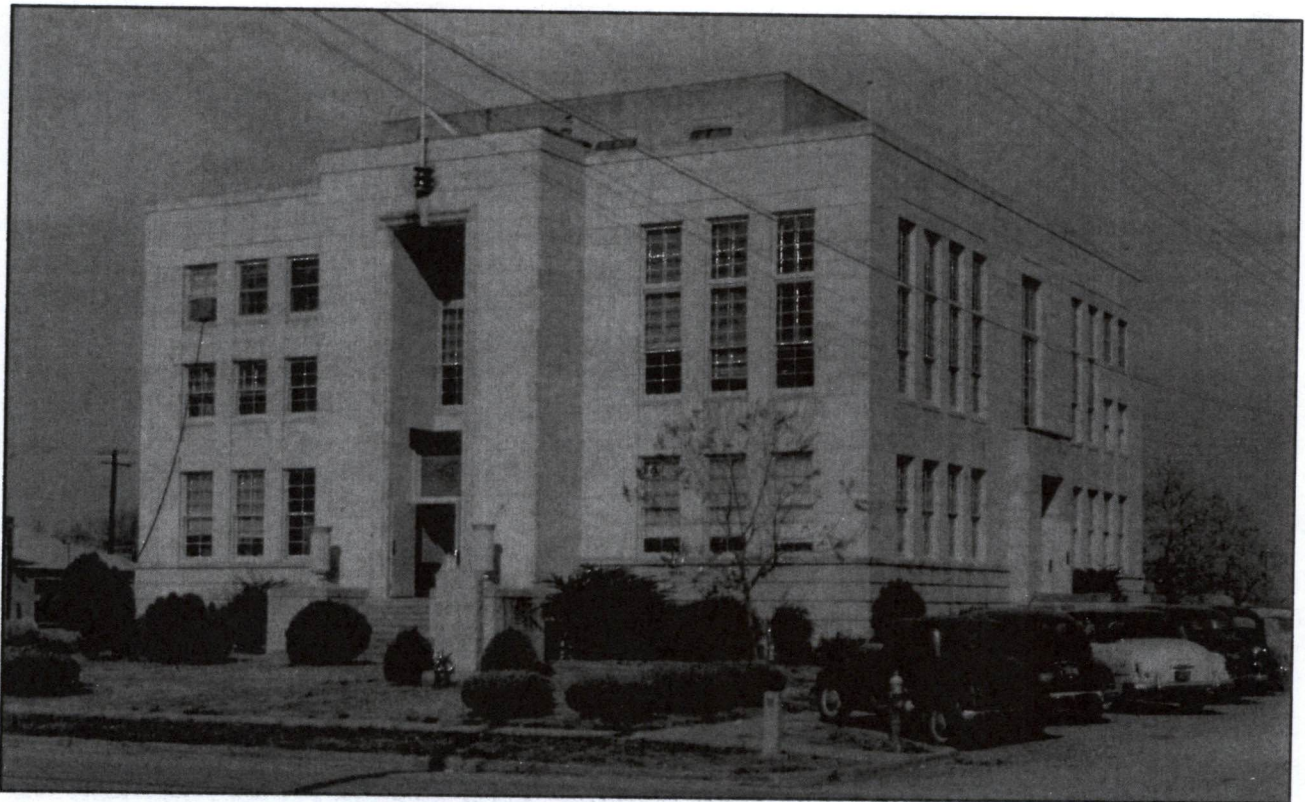


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**DELTA COUNTY COURTHOUSE
Preservation Master Plan**

**200 W. Dallas Avenue
Cooper, Texas 75432**

December 2023



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COVER IMAGES

Title Page: Delta County Courthouse Pre-1977

Source: Delta County Historical Commission

Ch 1: North Façade of the Delta County Courthouse in September 2023

Source: Komatsu Architecture

Ch. 2: Delta County Courthouse South Façade, circa 1941

Source: www.254texascourthouses.net and TxDOT

Ch 3: North Façade of the Courthouse in June 2023

Source: Komatsu Architecture

Ch 4: Delta County Courthouse South Façade in June 2023

Source: Komatsu Architecture



KOMATSU
ARCHITECTURE

[TBD after review]

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Acknowledgements

Thank you to the following for their contributions to the Master Plan:

Delta County

Hon. Tanner Crutcher, County Judge (Point of Contact)

Hon. Morgan Baker, Precinct 1 Commissioner
Hon. Jimmy Sweat, Precinct 2 Commissioner
Hon. Anthony Robers, Precinct 3 Commissioner
Hon. Mark Brantley, Precinct 4 Commissioner

Hon. Jay Garrett, County Attorney
Hon. Janice Roberts, County and District Clerk
Hon. Debbie Huie, County Treasurer
Hon. Dawn Stewart, County Tax Assessor-Collector
Sheriff Charla Singleton, County Sheriff
Hon. Ricky Pederson, Justice of the Peace
Tom Glosup, Facilities Consultant

8th District Court

Hon. Eddie Northcutt, District Judge
Will Ramsay, District Attorney

62nd District Court

Hon. Will Biard

Delta County Historical Commission

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This report fulfills the Texas Historical Commission's requirements outlined in the "Recommended Outline for a Courthouse Preservation Master Plan".

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1. INTRODUCTION



Executive Summary

The Delta County Courthouse Master Plan was initiated by Delta County in the Summer of 2023 with the goal of holistically planning for the future of the County's primary and historic facility. The Courthouse is very active on a day-to-day basis. Located in a rural community, the Courthouse provides daily access to County and District services for the public as it houses the District and County Courts, County/District Clerk, County Tax Assessor/Collector, and regular Commissioners Court, among other functions. Restoring the Courthouse will continue this service and tradition for years to come.

The 1942 Delta County Courthouse is a good example of Works Progress Administration (WPA) architecture in the region and the state. Towards the end of the Great Depression and a few years prior to the start of World War II, the Delta County Commissioners Court authorized architect Hoke Smith to apply to the WPA with a new design for a Classical Moderne courthouse. President Roosevelt approved the new courthouse plan in early 1940. The rectangular building featured Classical Moderne characteristics such as symmetrical massing with centered entrances and vertically aligned windows separated by fluted pilasters. True to the WPA's mission to provide unemployed Americans with work and income, the building's precast stone cladding was manufactured on site. Some of the building's furniture, doorsills, and window frames were made at the National Youth Administration's (NYA) workshop in Cooper. At the time of its construction, the Delta County Courthouse was the first WPA courthouse to be constructed in District 4 (Dallas). The Courthouse was completed on February 25, 1942, and dedicated by Governor Coke R. Steveson on Thursday, April 2, 1942.

Today, the Courthouse is not without its challenges. Many of the original wood windows are rotten and in severe condition. The elevator regularly breaks down. The County recently replaced the roof, which solved several major roof leaks, but the water damage is evident throughout the second and third floor interiors. The mechanical, electrical, and plumbing systems are dated and inefficient. Despite these ailments, the Courthouse should be preserved. The structure is in stable condition and a majority of the historic materials and features are present. The damage and deterioration are repairable. The systems can be replaced. With strategic planning, the space plan can be reworked to improve functionality for the County. In short, the Delta County Courthouse is worthy of restoration. Restoration will ensure that this important public landmark will continue to provide for the community on a daily basis in the coming decades as it has for its eighty-year lifespan.

Goals & Purpose

The goal of the Delta County Courthouse Preservation Master Plan is to:

- Document the building's history including how it came to be, the people involved with its construction, and the modifications that have been made to the building over time.
- Assess the current condition of the building's structure, materials, spaces, systems, and usage to identify problem areas and needed repairs.
- Plan for the future restoration of the building and ensure the safety and comfort of the people that use the building every day.



The Master Plan Recommendations seek to fully restore the historic 1942 Courthouse, while improving day-to-day functionality and introducing life safety measures, such as fire suppression systems and updated electrical systems. The Courthouse Restoration project will result in the preservation of this historic building for future generations while modernizing the systems for administrative and operational functions of the County in a cost-effective manner.

This document is designed to meet the Master Plan requirements laid out by the Texas Historical Commission's (THC) Texas Historic Courthouse Preservation Program (THCPP) and to provide all needed planning information to enable Delta County to be eligible to apply for grant funding. In addition, the document can be used by the County to develop a facility maintenance plan that can be integrated into the County's fiscal planning process.

Period of Significance / Target Restoration Date

The restoration date of the courthouse is 1942, which is when construction was completed, and the first proceedings were held in the District Courtroom. The restoration will also preserve extant historic fabric from the original 1942 Courthouse where it remains intact. All proposed work will comply with the Secretary of the Interior's Standards for Restoration and, where appropriate, the Standards for Rehabilitation.

It is the goal of the Texas Historic Courthouse Preservation Program and Delta County to pursue a restoration approach to the primary exterior and interior public spaces, returning the Courthouse as much as is possible to its original configuration and appearance. Secondary spaces would generally be rehabilitated. Extant historic fabric will be preserved as much as possible. The restored building must also fit the needs of County services and staff. Their perspective and requirements will be integrated into the preservation plans. All spaces will maintain air conditioning, heating, lighting, and other added systems based on modern standards and contemporary comfort.

Methodology

The findings of this master plan are the result of three phases of review and analysis:

- Phase #1 – Archival research the history of the building from primary and secondary sources.
- Phase #2 – Assessment of current conditions through site visits by architecture and engineering professionals, analysis of current codes, standards, pertinent legislation, and interviews with County personnel.
- Phase #3 – Synthesis of the Assessment findings into a full restoration plan of work.

The final master plan report consists of narratives, drawings, diagrams, and tables used to convey the project team's findings in a clear and concise manner. Research and evaluation efforts started in June 2023, and the report was completed in December 2023.

Historical Research

With the assistance of County staff, the County Historical Commission, and local historians, the project team compiled and reviewed all pertinent building records, photographs, drawings, and other historic documentation. The following sources were utilized for the development of this document:



- Original Construction Drawings and Shop Drawings
 - Undated Original Floor Plans by Hoke Smith Architects
 - 1940/41 Shop Drawings
- Plans from previous building renovations:
 - 1978 Exterior Restoration Construction Drawings by Wisenbaker, Fix, and Associates
 - 1997 Elevator and Accessibility Modifications
 - 2019 Facility Condition Assessment by Randall Scott Architects
- County Commissioners' Court minutes
- Articles from the Delta Courier and other regional newspapers
- Discussions with the Delta County Historical Commission members, local historians, and past / present building occupants
- Materials from the Delta County Historical Commission
- Various County history publications and periodicals

Please see the bibliography in Appendix A for the full list of citations.

Field Observations and Assessment Methods

Over the course of several site visits, the architecture and engineering project team reviewed the exterior and interior of the building. Komatsu Architecture created schematic architectural drawings based on the original and renovation construction documents and verified with existing measurements. Conditions were photographed and documented by level of deterioration and extent of needed repairs. Materials and assemblies were assessed for historic integrity and intrusive (non-historic) elements were noted. Komatsu also reviewed the building for programming and spatial needs and assessed the entrances, stairs, public circulation routes, and restrooms for code compliance.

The mechanical, electrical, and plumbing (MEP) engineers reviewed the electrical, heating / air conditioning equipment, and plumbing throughout the building to gain an understanding of the systems current capacity, which will inform the projections for future needs.

Discussion meetings were held with the County Judge and County staff to clarify the functional objectives of the court and discuss concerns and maintenance/repair issues experienced by the County. Informal interviews with County personnel and the facilities / maintenance staff gave a deeper understanding of the building's day-to-day operations and needs. These discussions allowed the project team to not only understand the current needs, but also how the building has evolved over time.

In addition to documentation of existing conditions, applicable standards were studied to make a functional assessment of the building and inform the recommendations. Standards used included:

- Texas Government Code §442.008 and §442.006, Texas Historic Courthouse Protection Act
- Requirements of the Texas Historic Courthouse Preservation Program
- International Building Code, 2018
- International Fire Code, 2018
- Texas Accessibility Standards (TAS) 2012
- The Secretary of the Interior's Standards for the Treatment of Historic Properties, 1995



Summary of Existing Conditions & Recommendations

Based on the data collected, the Delta County Courthouse is in need of full restoration in the near future. The most significant challenges that the County faces are severely deteriorated windows and a rapidly deteriorating elevator.

The original wood windows are intact at a majority of window openings. However, many of the sills and lower sashes exhibit severe wood rot and deterioration, which allows moisture and pests to migrate unhindered into the building.

The elevator has reached the end of its service life and regularly breaks down. Six entrapments have occurred over the last few years and two fires have been extinguished at the penthouse mechanical room. The maintenance company can no longer find parts to repair the elevator, leaving it out of service regularly. This prevents the usage of the second and third floors as they are not accessible. During these outages, the District Court, as well as other County functions, must be relocated.

A future restoration project must also address the following significant deficiencies that threaten the integrity and occupancy of the Courthouse:

- **Mechanical, Electrical, and Plumbing** – The MEP systems are reaching the end of their service life in most instances. The public gang restrooms at the basement are out of order and have been abandoned by the County. The remaining restrooms facilities are single users. Most do not meet code requirements and the fixtures and piping are deteriorated. The electrical system is not grounded throughout the building. The distribution panels and wiring are in poor shape. The mechanical system is a patchwork of mixed-matched equipment. The window units are old and deteriorated. They also cause damage to adjacent historic material. The VRF system is approximately a decade old but is only installed in a few offices. Together, the mechanical equipment does not work as a holistic system that does not control temperature properly and does not mitigate humidity. A restoration project will update all systems to make them functional for occupants without damaging or detracting from the historic structure.
- **Means of Egress** – The means of egress from the third and fourth floors is undersized. The design of the south stair does not meet code requirements and is a hazard to occupant life safety. The proposed floor plans illustrate a new stair design that can be implemented in a future restoration project.
- **Damage from Major Roof Leak** – The County replaced the severely deteriorated roof in early 2023. However, the interior damage caused by the major leaks has yet to be repaired. The spaces have dried out but are not currently in use. The structural components should be inspected at the third floor while exposed, then restoration and repairs should commence to get the spaces back into operational order.
- **General Wear** - The Courthouse has been regularly used by the County and the public for over eighty years. All floors, walls, ceiling surfaces and finishes are showing signs of deterioration from wear and tear over the years. The interior doors are also showing signs of deterioration. Repair and restoration of these elements is needed.

Despite the noted deficiencies, the Delta County Courthouse can be preserved, repaired, and restored. Overall, the Courthouse is in fair to poor condition. The significant roof leaks have expedited the deterioration of interior finishes in addition to the typical wear and tear expected of a building of this age. If left untouched, the building will deteriorate beyond repair. A full restoration of the building will ensure that the building is properly repaired and updated without further deterioration. Upon restoration, the Delta County Courthouse will continue to be the center of County activities. It will be the official location for posting notices, the County and District Court, and the County/ District Clerk office. The Delta County Courthouse deserves to be restored.

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2. HISTORICAL & ARCHITECTURAL DEVELOPMENT



Development of Delta County

Delta County is in northeast Texas, seventy miles from the state's eastern boundary and thirty miles south of the Red River, Texas' northern boundary. The county's northern boundary is the North Sulphur River and its southern boundary is defined by the South Sulphur River. The two rivers converge to form the county's east border. Delta County is composed of 278 square miles of undulating Blackland Prairies whose elevations vary from four hundred to five hundred feet above sea level. Its soil varies from deep clay to clay covered with a dark loam. Hardwoods, particularly oak, elm, pecan, bois d'arc, and mesquite grow along its waterways. Grasses such as Texas grama, buffalo grass, and bunchgrass grow on its prairie. Most of the land has been developed for crop farming, particularly cotton, hay, soybeans, corn, wheat, and sorghum. Livestock, mainly beef and dairy cattle, are also part of the county's agricultural economy.¹

Prior to non-Native settlement, the area encompassing today's Delta County was inhabited by members of the Caddo Tribe, an agrarian people comprised of three confederacies and associated bands. The Caddo had a highly developed society and an extensive system of trails along the watersheds of the Red and Trinity Rivers in east Texas and into present-day Louisiana, Arkansas, and Oklahoma. The Caddo were mostly concentrated along the Red River and in east Texas at the time of persistent European contact in the late seventeenth century. Mutually beneficial trade continued into the 1830s. However, increased non-Native settlement in the area, the threat of inter-tribal and Anglo-American conflicts in the early nineteenth century, and the U. S. Civil War ultimately resulted in the forced relocation of most of the Caddo to a reservation in Indian Territory near present-day Binger (Caddo County), Oklahoma.²

In the 1820s, Anglo-American Hugh Castle settled near present-day Ben Franklin in the future Delta County. Castle was followed by an individual known as "Blue" who settled near present-day Rattan, likely to trade with Native Americans. These individuals were followed by settlers from Kentucky and Tennessee. The area was favored by horse thieves and other criminals as the surrounding rivers and Jernigan Thicket, a dense thicket of hardwoods and rattan vines, kept it relatively isolated. In 1836, the newly established Republic of Texas recognized the area between the North and South Sulphur Rivers as part of Red River County. By the late 1830s, Dr. Moses Hogue and three families had established the small village of Ben Franklin. In 1840, the Congress of Texas organized Lamar County (which included present-day Delta County) from Red River County. After Texas was admitted to the United States in 1846, the state legislature organized Hopkins County which included what is now the southern two-thirds of Delta County.³

¹ Vista K. McCroskey, "Delta County," *The Handbook of Texas Online* (<https://tshaonline.org/handbook/entries/delta-county>, accessed September 24, 2023). Published by the Texas State Historical Association [hereafter abbreviated as TSHA].

² "Who We Are," *Caddo Nation*, (<https://mycaddonation.com/history-1>, accessed September 24, 2023); Timothy K. Pertula, "Caddo Indians," *Handbook of Texas Online*, (<https://tshaonline.org/handbook/entries/caddo-indians>, accessed September 24, 2023). TSHA.

³ McCroskey, "Delta County;" "Jernigan Thicket," *The Handbook of Texas Online*, (<https://tshaonline.org/handbook/entries/jernigan-thicket>, accessed September 24, 2023). TSHA.



Prior to the Civil War, most residents settled near the North and South Sulphur Rivers because of their proximity to the seats of Lamar and Hopkins counties and the trading opportunities they provided. Nathaniel Corbet, a transplanted New Yorker, established the county's first store in Ben Franklin in 1845 and was later instrumental in the founding of Cooper (see additional information below) and operated the "Corbit Hotel" there. The construction of a bridge along the Bonham-Jefferson Road facilitated the cotton trade, thus engendering an agricultural economy that in turn attracted more settlers. A church and school were established just north of the South Sulphur River. A post office was established at Odd's Creek (later Lake Creek) in 1848.⁴

During the Civil War, most of the area's residents sided with the Confederacy although there were a few Unionists. The area was spared violence during the war except when residents hanged three Unionists from Charleston who had escaped to the Jernigan Thicket. Following the Civil War, people residing along the isolated Sulphur Rivers found it difficult to travel the long distances over inadequate roads to the prospering county seats in Lamar and Hopkins Counties. In 1868, residents petitioned the state legislature to form a new county out of portions of Lamar, Hopkins, Hunt, and Fannin Counties. The legislature finally granted the request on July 29, 1870, but excluded the portions in Hunt and Fannin Counties as those areas did not wish to be included. The new Delta County received its name because of its triangular shape that is similar to the Greek letter Δ (delta). Its north, east, and south boundaries were formed by the converging North and South Sulphur Rivers. Fannin and Hunt counties bordered it on the west. The county was officially organized on October 6, 1870.⁵

Previous Courthouses and Related Buildings

1871-1881 Temporary Courthouse

With the creation of Delta County in 1870, the new town of Cooper, located in the south-central portion of the county, was designated the county seat. Early pioneer Nathaniel Corbit conveyed twenty acres to Delta County for the town. It was named for Leroy Cooper, chairman of Texas' House Committee on Counties and Boundaries. Governor Edmund J. Davis selected a five-member county commission. Its first meeting was in February 1871, reportedly out in the open. A "one-room, rough box house across the street south of the IOOF building" served as the first courthouse. It retained this function until approximately 1881 when a new courthouse was constructed in the center of the public square.⁶

1881-1899 First Permanent Courthouse

Delta County's first permanent courthouse was a two-story wood-framed building. It had a bracketed cornice below a hipped roof with a centered tower or large cupola. The foundation was constructed of

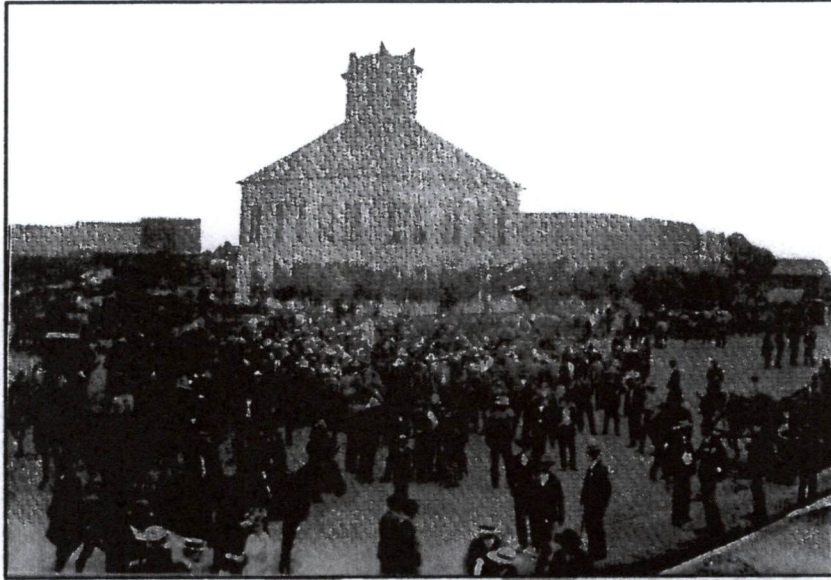
⁴ McCroskey, "Delta County."

⁵ Ibid.

⁶ Ikie Gray Patteson, *Loose Leaves: A History of Delta County* (Dallas, Texas: Mathis Publishing Company, 1935), 13.



brick instead of bois d'arc blocks as originally planned. Dr. R. C. Andrews and E. Blackwell drew the building's plans and specifications, and John A. Pierce was awarded the construction contract.⁷



1881 Courthouse. From Ikie Gray Patteson, *Loose Leaves* (1935).

Cooper was incorporated as a town the same year the courthouse was constructed⁸ and it became the market center for the county. It had a population of approximately 300 people by 1885. Connection with the Texas Midland Railroad brought growth and by 1896, it had one thousand residents. It attained a population of 2,563 by 1925. The production of cotton dominated the county's agricultural economy but a crop failure in 1926 significantly impacted the county's well-being. Like many small towns, Cooper lost population during the Great Depression. It rebounded during the early 1950s, but the town never regained its population high of the 1920s.⁹

1900-1940 The Second Permanent Courthouse

Fire destroyed the 1881 Delta County Courthouse on March 10, 1899. Fortunately, many county records that had been stored in the vault survived but records of the district court's pending suits were destroyed. Plans were quickly made for a new Courthouse, but not without protests over the issuance of bonds or a petition for the relocation of the county seat to Enloe. Ground was broken for the building on October 7, 1899, and its cornerstone, crafted of polished "Llano County granite," was laid on November 15, 1899 "with the usual solemn and impressive Masonic ceremonies." A few days before the ceremony, the *Fort Worth Morning Register* proclaimed the building, designed by Fort Worth architect Marshall Sanguinet, would be one of the "most ornate and beautiful in the state." The two-and-one-half-story building was a Gothic Revival confection of brick and stone with a hipped turreted-roof, arched openings, and tall central tower. On the day the Courthouse was dedicated,

⁷ McCroskey, "Delta County;" Patteson, *Loose Leaves: A History of Delta County*, 17-18.

⁸ Patteson states that Cooper was incorporated in 1887. See Patteson, *Loose Leaves: A History of Delta County*, 199.

⁹ McCroskey, "Delta County."

former Confederate and Union soldiers planted two pecan trees on the square as a symbolic gesture of unification.¹⁰

It later became apparent that the 1900 Courthouse had structural issues. Its foundation was constructed of broken brick that had contracted in several places which caused the building to settle and required extensive repairs. In 1940, the *Delta Courier* commented that the building's design was outdated and contained wasted space. That same year, an editorial in the *Cooper Review* referred to the building as "dilapidated and almost untenable."¹¹



Left: 1900 Delta County Courthouse. Right: Tree planting in front of 1900 Courthouse.
Source: Ikie Gray Patteson, *Loose Leaves* (1935).

1940-1941 Temporary Courthouse in the I.O.O.F. Building, 101 E. Bonham Avenue.

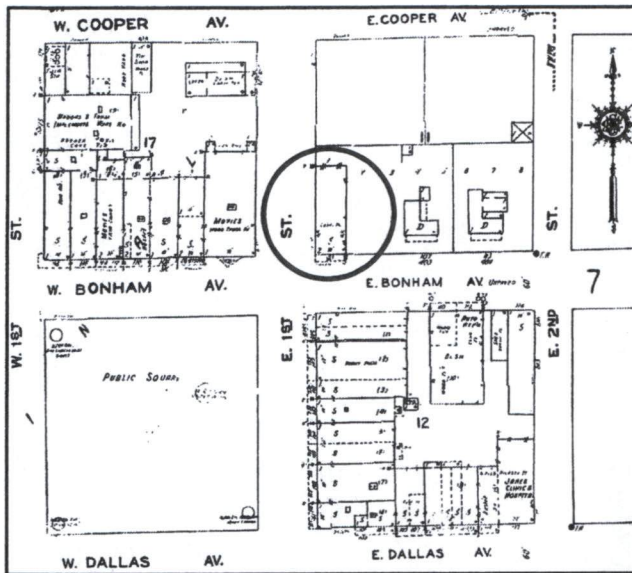
On March 27, 1940, the Delta County Commissioners Court approved the use of the I.O.O.F. (Independent Order of Odd Fellows) Building as the temporary Courthouse while the old courthouse was being demolished and a new one constructed. The brick two-story, two-part commercial block building was located at the northeast intersection of East First Street and East Bonham Avenue just northeast of the public square. For many years, the first floor housed the Post Office until a new Post Office was constructed in 1936. The second floor housed the local I.O.O.F. lodge. During its tenure as the designated Courthouse, criminal and civil trials were held on the second floor but many of the county offices were spread across buildings around the public square. The I.O.O.F. Building still stands. Its brick has been painted.

¹⁰ "Cooper Courthouse Fire," *Dallas Morning News* (Dallas Texas), March 12, 1899, 8, (<https://infoweb.newsbank.com>, accessed August 30, 2023); "Paris Budget," *Dallas Morning News*, September 6, 1899, 8, (<https://infoweb.newsbank.com>, accessed August 30, 2023); "Delta County Courthouse," *Dallas Morning News*, October 8, 1899, 24; Patteson, *Loose Leaves: A History of Delta County*, 211;

"Delta County Courthouse," *Dallas Morning News*, November 17, 1899, 5, (<https://infoweb.newsbank.com>, accessed August 30, 2023); "Cooper's New Courthouse," *Fort Worth Morning Register*, November 5, 1899, 10, (<https://infoweb.newsbank.com>, accessed September 25, 2023).

¹¹ "110,000 Courthouse Project is Given Approval for Delta County," *The Delta Courier* (Cooper, Texas), January 16, 1940, (<https://texashistory.unt.edu/ark:/67531/metaph895648/m1/1/>; accessed August 3, 2023). PTH; "Opportunity for New Court House," *Cooper Review*, January 19, 1940, <https://texashistory.unt.edu/ark:/67531/metaph895496/m1/2/>; accessed September 26, 2023). PTH.





Left: Location of I.O.O.F. Building. Sanborn Fire Insurance Co. Map, Cooper, Texas, Dec. 1923-Aug. 1942, Sheet 2.

Right: I.O.O.F. Building, 101 E. Bonham Ave., Google Earth Pro image, 2021, retrieved September 28, 2023.

1940-1942 The Construction of the WPA Courthouse

As Americans struggled with the Great Depression of the 1930s, President Franklin D. Roosevelt's "New Deal" programs brought much needed economic relief to millions. In many instances, programs such as the Civilian Conservation Corps (CCC), Works Progress Administration (WPA) and the Public Works Administration (PWA) achieved these goals through the construction of infrastructure and other improvements in communities across the country, many of which survive today.

The WPA was created in 1935 specifically to employ people directly from the relief roles who were considered the economic heads of their households. This meant that women could also be employed by the WPA if they met this requirement. Construction projects included schools and other public buildings, roads and bridges, park improvements, and sidewalks. Typically, the federal government provided most of the funding with sponsoring agencies such as municipal or county governments supplying a small match, usually in the form of materials and equipment or workspace and utilities. Later in the program, local sponsors were often expected to cover more of the project costs than what was first required. In 1939, the WPA's name was changed to the Work Projects Administration. The program was deemed unnecessary and abolished in 1943 as the country's wartime economy stimulated nearly full employment.¹²

The Delta County Commissioners Court contemplated the construction of a new Courthouse in 1939. It entered a contract with Dallas architect Hoke Smith on March 13, 1939 "to make plans, specifications, estimates, etc., and to make application to the Works Progress Administration for Government

¹² Mallory B. Randle, "Work Projects Administration," *The Handbook of Texas Online*, (<https://tshaonline.org/handbook/entries/work-projects-administration>, accessed September 26, 2023). TSHA.



assistance in the erection of a County Court House and other improvements.” Hoke was a prolific architect who specialized in the design of schools and other public buildings. In fact, his design for the East Delta (County) School was approved for WPA funding around the time as the funding for the Courthouse. Hoke’s fee was five percent of the approved costs of the project. On April 26, C. N. Burt and Company of Dallas made a proposal to the Commissioners Court for the issuance of warrants of approximately \$30,000 should the County construct a Courthouse through the WPA. The proposal was accepted on July 21, 1939. On October 24, 1939, the Court authorized Delta County Judge J. T. Taylor to sign Hoke’s application to the WPA for the construction of a new Courthouse.¹³

On January 13, 1940, President Roosevelt approved a new Courthouse for Delta County to be constructed through the WPA program. The total cost of the building was estimated to be \$110,450, although when the building was completed two years later, the cost was given as \$148,000. The *Delta Courier* published a rendering of the proposed building on its front page on January 16, 1940. The image depicted a four-story building with a raised basement and the fourth floor stepped back from the lower floors. The rectangular building featured Classical Moderne characteristics such as symmetrical massing with centered entrances and vertically aligned windows separated by fluted pilasters. It was to be clad with a precast stone that was manufactured on site. However, the constructed building varied slightly from the original design. Details such as medallions above the third-floor windows, spandrels between the first and second floor windows, and ornamentation on the south elevation’s entrance bay (the main entrance) were eliminated. Some of the building’s furniture, as well as doorsills and window frames, would be made at the National Youth Administration’s (NYA) workshop in Cooper.¹⁴

The site chosen for the new building was in the east half of Block 30, two blocks west of the public square. A hotel and a fire station were located on the site in 1909 and a house occupied the southeast corner of the parcel in 1923. It has also been suggested that the Blackwell Livery Stable was on the site until 1915. The reason for the site change has not been determined. As the County Commissioners placed an option on the property, opposition to the relocation arose. Some contended that the courthouse had to be on the public square. On March 9, 1940, four merchants filed an injunction to halt the relocation. Judge Charles Berry of the Eighth District Court in Greenville heard the case on March 11 and denied the plaintiffs’ suit. It was appealed to the Court of Civil Appeals in Texarkana but that court upheld Judge Berry’s decision on April 18, 1940.¹⁵

¹³ Contract with Hoke Smith, March 13, 1939, as recorded in the Delta County Commissioners Court Minutes, Book J. pp 535-36; Delta County Commissioners Court Minutes, Book J, pp. 562-6; Delta County Commissioners Court Minutes, October 24, 1939, Book K, p. 12.

¹⁴ “110,000 Courthouse Project is Given Approval for Delta County;” “Court House Rapidly Nearing Completion; Landscaping Started,” *Cooper Review*, November 28, 1941, (<https://texashistory.unt.edu/ark:/67531/metapht984176/m1/1/>; accessed September 22, 2023). PTHH; “New Courthouse Cornerstone Laid Monday in Delta County,” *Paris News*, April 9, 1941, 9, (<https://newspaperarchive.com/paris-news-apr-09-1941-p-9/>, accessed September 1, 2023); “Courthouse Rapidly Nearing Completion.”

¹⁵ “Opportunity for New Court House,” *Cooper Review*, January 19, 1940, (<https://texashistory.unt.edu/ark:/67531/metapht895496/m1/2/>; accessed September 26, 2023). PTHH; Sanborn Fire Insurance Company Map, Cooper, Texas, September 1909, Sheet 3 and December 1923, Sheet 4; “Courthouse Causes Fight,” *Paris News*, March 12, 1940, 1 (<https://newspaperarchive.com/paris-news-mar-12-1940>, p-1/, accessed September





Image of the new Delta County Courthouse from the Delta Courier (Cooper, Texas), January 16, 1940. Portal to Texas History (texashistory.unt.edu).

At the time of its construction, the Delta County Courthouse was the first WPA courthouse to be constructed in District 4 (Dallas). Rockwall and Kaufman counties also received WPA approval for new courthouses in the district. However, the Kaufman County courthouse was not constructed. The Rockwall County Courthouse was designed by Voelcker & Dixon of Wichita Falls in the Moderne style and dedicated on June 17, 1942—three months after the Delta County Courthouse.¹⁶

The Delta County project was divided into two phases. The first was the demolition of the old Courthouse and the salvaging of as much material as possible for the new building. This phase was estimated to cost \$10,298 of which the federal government was supplying \$8,991 and the County funding \$1,307. It was expected that fifty-five men would be employed each month for four months. The second phase entailed the construction of the new courthouse, which was estimated to cost \$110,451.00 with the WPA financing 54,849.00 and the County supplying \$56,602.00. It was anticipated that an average of 105 men would be employed per month on for one year during its construction.¹⁷

1, 2023). See also Case 4102, Quentin Miller, et al, vs Delta County and the Commissioners' Court, Cause No. 4102, March 9, 1940, Civil Minutes of the District Court, Volume M, pgs. 254, 268, 273, 274.

¹⁶ "Rain Halts Courthouse Ceremonies," *Cooper Review*, March 15, 1940, (<https://texashistory.unt.edu/ark:/67531/metaph895583/m1/1/>; accessed September 28, 2023). PTH; "New Courthouse Cornerstone Laid Monday in Delta County;" Mrs. J. O. Wallace, "New Rockwall Courthouse Dedicated," *Dallas Morning News*, June 18, 1942, 7, (<https://infoweb.newsbank.com>, accessed September 23, 2023).

¹⁷ "Rain Halts Courthouse Ceremonies."

The groundbreaking ceremony for the new Courthouse was on March 13, 1940, and demolition of the old Courthouse began on March 14, 1940. Its cornerstone was opened in late April or early May 1940. The contents included coins dated 1875 and 1899 (the latter date likely represented the year the cornerstone was laid), Dr. H. B. Lain's watch charm, Dallas and Cooper newspapers, and a Masonic book. The coins were to be placed in a metal box inside the new Courthouse's cornerstone.¹⁸ After the building was cleared, the public square was transformed into a park and the size reduced to accommodate more parking. The WPA constructed a bandstand in its center in 1941 using materials salvaged from the old courthouse. The new bandstand was also designed by Hoke Smith. The WPA also demolished the old jail located northwest of the public square (northeast of the new Courthouse site). The basement of the Cooper City Hall was used as a jail until the new jail was completed in the Courthouse.¹⁹

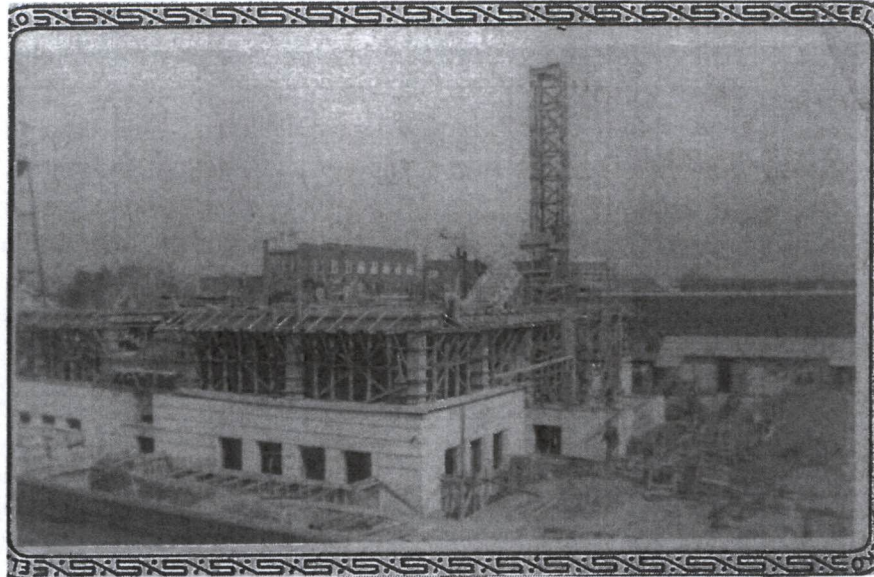
Work began on the new Courthouse on June 21, 1940, following the completion of the demolition of the old building. C. E. Farrell (possibly Ferrell), WPA foreman, began surveying lines and clearing the ground for the digging of the foundation. Because WPA laborers were often unskilled, the Delta County Commissioners also had to hire skilled workers such as brick layers, electricians, plumber, carpenters, tile setters, roofer, concrete finisher, and plasterers. Their rates varied between forty and seventy-five cents an hour. George P. Simon, Sr. was hired at the rate of ten dollars a day to make the cast stone. The person who "baked" the stone was paid \$1.25 per hour. Work progressed at a steady pace and by early March 1941, construction of the third floor had begun as nearly all the concrete work had been completed on the second floor. Much of the plumbing had been installed in the basement. By the end of the month, all the cast stone elements for the exterior had been completed, including lintels weighing 6,000 pounds each that would be installed over the building's vaulted entrances. WPA laborers were building basement partition walls from brick salvaged from the old Courthouse. A brick flue was substituted for an iron flue shown in the original plans which also contributed to savings on construction costs. Its cornerstone, which was also made by the WPA laborers, was laid on April 7, 1941, by members of the Masonic Grand Lodge of Texas.²⁰

¹⁸ "Rain Halts Courthouse Ceremonies;" "Delta Courthouse is Torn Down," *Paris News*, June 20, 1940, 16, (<https://newspaperarchive.com/paris-news-jun-20-1940-p-6/>, accessed July 16, 2023). "Delta Cornerstone is Opened at Cooper," *Paris News*, May 12, 1940, 12, (<https://newspaperarchive.com/paris-news-may-12-1940-p-12/>, accessed July 16, 2023).

¹⁹ "Courthouse Demolition Begun Thursday", *Cooper Review*, March 15, 1940, (<https://texashistory.unt.edu/ark:/67531/metaph895583/m1/1/>, accessed September 23, 2023). PTHH; "North and South of Red River," *Paris News*, January 19, 1941, 12, (<https://newspaperarchive.com/paris-news-jan-19-1941-p-12/>, accessed September 1, 2023); Theresa Kisic, "That Wonderful Year 1941," *Cooper Review*, June 25, 1998, (<https://texashistory.unt.edu/ark:/67531/metaph1128694/m1/2/>, accessed September 6, 2023). PTHH; Delta County Commissioners Court Minutes, May 16, 1940, Book K, p. 63.

²⁰ "Begin Work Today on New Courthouse," *Cooper Review*, June 21, 1940, (<https://texashistory.unt.edu/ark:/67531/metaph895494/m1/1/>, accessed September 26, 2023). PTHH;; "Preparing for Cornerstone Ceremonies," *Cooper Review*, March 28, 1941, (<https://texashistory.unt.edu/ark:/67531/metaph984408/m1/1/>, accessed September 22, 2023). PTHH; Beth Stone, "That Wonderful Year 1941," *Cooper Review*, August 13, 1998, (<https://texashistory.unt.edu/ark:/67531/metaph1128497/m1/2/>, accessed September 6, 2023). PTHH; Delta County Commissioners Court Minutes, June 15, 1940, Book K, p. 66; "Court House Rapidly Nearing Completion; Landscaping





*Delta County Courthouse under construction, 1940. View looking northeast.
Annie Lair Board Collection, courtesy Delta County Historical Commission.*

The WPA approved a landscaping project for the Courthouse grounds in March 1940. Workmen began leveling and landscaping it on November 26, 1941. By that date, numerous county offices had moved into their quarters in the new Courthouse. These included the Tax Assessor-Collector, Superintendent of Schools, and the County Clerk and County Judge, along with their office personnel. The Surplus Commodities office was in operation.²¹

The formal opening of the Courthouse's District Courtroom was held on January 14, 1942, even though the building was not completed. Judge Charles Berry of the Eighth Judicial District opened the regular session. Attendees included other Delta County officials, Cooper Bar Association members, and area teachers and students.²²

The Courthouse was completed on February 25, 1942. According to the architect's plan, the basement contained segregated restrooms, offices for the Constable and Sheriff and Justice of the Peace, the Old Age Assistance office, a large workspace for the WPA sewing room, and storage. The Selective Service Board moved into the basement in March 1942. After leaving his post as county judge, J. T. Taylor opened his abstract and title office in the basement in March 1943. The first floor had a cruciform plan that included offices of the County Judge, the Tax Assessor and Collector, County Clerk, County

Started," *Cooper Review*, November 28, 1941, (<https://texashistory.unt.edu/ark:/67531/metaph984176/m1/1/>, accessed September 22, 2023). PTH.

²¹ "Grounds Project OK'd for Delta Courthouse," *Paris News*, March 7, 1940, 9, (<https://newspaperarchive.com/paris-news-mar-07-1940-p-9/>, accessed July 16, 2023); "Court House Rapidly Nearing Completion; Landscaping Started."

²² "New Courthouse Nears Completion at Cooper," *Paris News*, November 25, 1941, 8, (<https://newspaperarchive.com/paris-news-nov-25-1941-p-8/>, July 16, 2023); "New Courtroom at Cooper Used," *Paris News*, January 15, 1942, 8, (<https://newspaperarchive.com/paris-news-jan-15-1942-p-12/>, July 16, 2023).



Treasurer, County Commissioners, and County Superintendent, as well as two vaults. The District Courtroom, judge's chamber, jury room, court clerk, and jury box occupied more than half of the east side of the second floor. The west side of this floor contained two offices, a vault, the District Attorney's office, an ante room, a small toilet, the witness chamber, and a waiting area between the courtroom and main stairs. Because the courtroom had a high ceiling, the third floor (referred to as the mezzanine on the plans) was confined to the west section of the building. As designed, it contained living quarters for the sheriff, a jury dormitory, a toilet, and linen storage. However, the Farm Security Administration (FSA), originally planned for the basement, established an office on this floor. The jail, previously located in a separate building from the old Courthouse, was located on the fourth-floor penthouse (designated as the third floor on the original plans). The men's cell block occupied more than half of the north side. The women's cell block, a room for the jailer, and an electrical closet occupied the rest of the floor.²³

Governor Coke R. Steveson dedicated the completed Delta County Courthouse on Thursday, April 2, 1942. Five hundred people stood in the swirling dust to hear his remarks and to see Gus W. Thomasson, District 4 WPA director, present the building to the people of Delta County. The Cooper High School band play patriotic songs and school children planted a pecan tree on the courthouse lawn as part of the day's festivities.²⁴

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²³ "Court House Rapidly Nearing Completion; Landscaping Started," *Cooper Review*, November 28, 1941; "Selective Service Board Moves to Court House Thurs.," *Cooper Review*, March 20, 1942, (<https://texashistory.unt.edu/ark:/67531/metapth976485/m1/1/>, accessed September 22, 2023). PTHH; "Notice!," *Cooper Review*, March 12, 1943, (<https://texashistory.unt.edu/ark:/67531/metapth976485/m1/7/>, accessed September 23, 2023). PTHH. Taylor later operated an accounting business in the basement. See advertisement for J. T. Taylor Public Accountant, *Cooper Review*, May 12, 1950, (<https://texashistory.unt.edu/ark:/67531/metapth976485/m1/4/>, accessed September 22, 2023). PTHH.

²⁴ "Delta Court House Dedicated Thursday," *Paris News*, April 3, 1942, 8, <https://newspaperarchive.com/paris-news-apr-03-1942-p-8/>, accessed July 16, 2023).





Delta County Courthouse prior to 1947.



Cooper High School students on the Courthouse steps, circa 1960s. The original doors can be seen behind them. Courtesy of the Delta County Historical Commission.



Plumbing issues frequently plagued the courthouse although some were the result of malicious acts. On August 1, 1951, a prisoner broke water pipes in his cell, causing flooding issues throughout the building but especially in the District Courtroom. There, water caused extensive damage to the "stucco" ceiling and wood paneling.²⁵

In 1967, a Grand Jury issued a report on the condition of the courthouse after District Judge Joe N. Chapman's courtroom was flooded while the January term was in session. The report was completed by early February and submitted to Judge Chapman and the Delta County Commissioners Court. Numerous unsafe conditions were cited including narrow and steep stairs from the ground floor to the jail on the fourth floor. The men's side of the jail had no heat, a broken window, and unsanitary toilet and bathroom conditions. Bed linens were dirty and there was two to three inches of water on the floor due to a broken pipe. The men were being kept in the women's side of the jail because it had heat. Elsewhere, plumbing problems had resulted in a large hole in the courtroom ceiling. The restrooms and entire courthouse were deemed unclean. Recommendations included moving the jail from the top of the building or at least building a secure holding cell in the basement, repairing the plumbing in a manner that would prevent the Courthouse from flooding, installing an elevator, upgrading heating equipment, and ensuring the custodian always kept the Courthouse clean. Work was undertaken almost immediately to repair or replace the plumbing and heating systems and to modernize the bathrooms.²⁶

The District Court was in session on November 19, 1975, when exterior stones between two of the courtroom's windows on the east side fell to the ground. It was also noted that the stone veneer was loose elsewhere on the building. Several pieces of stone on the south and west elevations were removed as a safety precaution. The Delta County Commissioners Court engaged Wisenbaker, Fix and Associates, an engineering firm from Tyler, to assess the building's stability and to recommend repairs. The firm proposed three alternatives estimated to cost between \$150,000 and \$200,000. The first alternative called for the removal, cleaning, and reinstallation of all the stone, thereby retaining the building's current appearance. The second proposal recommended replacing the stone with brick, which would change the building's appearance. The third alternative recommended replacing the stone with brick and metal, which would also change the Courthouse's appearance.²⁷

In December 1975, and upon the recommendation of Gerry C. Rudd, an architect with Wisenbaker, Fix and Associates, the Delta County Commissioners authorized County Judge George Bolger to obtain the services of a "masonry Restoration Contractor" to make the necessary repairs to the building's

²⁵ "Courthouse Flooded By Jail Inmate," *Cooper Review*, August 3, 1951, (<https://texashistory.unt.edu/ark:/67531/metaph980194/m1/1/>, accessed September 22, 2023). PTHH.

²⁶ "Grand Jury Initiates Courthouse Report," *Cooper Review*, February 9, 1967, (<https://texashistory.unt.edu/ark:/67531/metaph983010/m1/1/>, accessed September 7, 2023). PTHH.

²⁷ "Delta Courthouse Due Renovation," *Cooper Review* (Cooper, Texas), January 15, 1976, (<https://texashistory.unt.edu/ark:/67531/metaph983637/m1/1/>, accessed August 4, 2023). University of North Texas Libraries, The Portal to Texas History, texashistory.unt.edu.



exterior. However, it was not until later the following year that the project was put out for bid. This may have been due to the search for possible funding sources.²⁸

On August 26, 1976, Congressman Sam B. Hall announced that Delta County had been approved for a \$140,000 grant from the Economic Development Administration for the renovation of the Courthouse's exterior walls. The grant was funded through the Public Works Impact Program to create "immediate" jobs in areas of high unemployment. Just as the Work Projects Administration had done thirty-seven years earlier, it was expected that the courthouse work would provide jobs for sixteen previously unemployed residents. The federal funds were supplemented by \$35,000 from Delta County.²⁹ With sources of funding identified, the exterior renovation project was placed out for bids. James Reid of Reid Construction Company, Alba, Texas, was awarded the contract on December 30, 1976.³⁰

The Delta County Commissioners chose to follow Wisenbaker, Fix and Associates second option, which called for replacing the exterior's original cast stone blocks with brick. The work also involved the replacement of the original solid entry doors on the north, south, and east entrances with simple metal-framed glass double doors. The west entrance's door was replaced with a paneled door with a small window opening.

On April 7, 1978, the Courthouse's cornerstone was re-laid, signifying that the building's renovation was nearly complete. However, more renovations and repairs were soon needed. Later that month, a boiler explosion caused extensive damage although the exact nature of the damage was not detailed in the *Cooper Review* or in the Court minutes. It was thought that the boiler's pilot light failed to ignite, and the accumulated gas caused the explosion. The blast shook the entire building, but no one was reported injured. The Wiler Electric Company replaced the boiler later that fall and the building's power plant was repaired.³¹

²⁸ Delta County Commissioners Minutes, December 11, 1975, Book M, pg. 118.

²⁹ "Hall Announces Grant," *Cooper Review*, August 26, 1976, (<https://texashistory.unt.edu/ark:/67531/metaph984447/m1/1/>), accessed August 3, 2023). PTH; "Grant," *Cooper Review*, August 26, 1976, (<https://texashistory.unt.edu/ark:/67531/metaph983637/m1/2/>), accessed August 4, 2023). PTH.

³⁰ Delta County Commissioners Minutes, December 11, 1975, Book M, pg. 136-37.

³¹ "Masonic Cornerstone," *Cooper Review*, April 13, 1978, (<https://texashistory.unt.edu/ark:/67531/metaph983773/m1/1/>), accessed September 22, 2023). PTH; "Blast Damages Delta Courthouse," *Cooper Review*, April 27, 1978, (<https://texashistory.unt.edu/ark:/67531/metaph983773/m1/1/>), accessed September 22, 2023). PTH; "Commissioners Meet," *Cooper Review*, October 12, 1978, (<https://texashistory.unt.edu/ark:/67531/metaph976098/m1/1/>), accessed September 22, 2023). PTH.





Delta County Courthouse, Feb. 1975.

Historical Collection (U0663), University of North Texas Special Collections. Portal to Texas History.

Significant Events on Courthouse Square

1941 – Apr. 7 – The cornerstone for the new Courthouse was laid.

1942 – Apr. 3 – Governor Coke R. Stevenson dedicated the new Courthouse. At least one pecan tree was planted.

1947 – Dec. 7 - Morgan-Loftin Post No. 8535, Veterans of Foreign Wars (VFW), dedicated a monument to Delta County's 63 servicemembers killed in World War I and World War II. It was installed in front of the Courthouse on the southeast lawn. The project also included the construction of a concrete sidewalk to and around the Memorial and the planting of shrubs.



1967 – Mar. 16 – An Official Texas Historical [Subject] Marker was dedicated. It commemorates the role of “The Texas Livery Stable” and more specifically, the Blackwell Livery Stable believed to have been on the Courthouse site until about 1915. The marker was installed to the east of the VFW Memorial.

1975 – Jul. 4 – Two flag poles were dedicated during the Bicentennial kickoff celebration held on the Courthouse lawn.

1978 – Apr. 7 – The Masonic cornerstone was re-laid, signifying the exterior renovation of the Courthouse was nearing completion.

2011 – Sep. 11 – The Courthouse lawn was the site for a ceremony commemorating the tenth anniversary of the 9/11 Attacks.

2018 - An Official Texas Historical [Subject] Marker was dedicated honoring the Delta County pioneer Nathaniel L. Corbet (1812-1901). It was installed west of the VFW Memorial.

SIGNIFICANT PEOPLE ASSOCIATED WITH THE DELTA COUNTY COURTHOUSE

J. T. Taylor (1885-1951). John Thomas Taylor was a well-known figure in Delta County politics and land transactions. He was born September 12, 1885, in Franklin County, Virginia. He was a young boy when his moved to Texas where they took up farming in the Brushy Mound (today’s Post Oak) community in Delta County. When his father died in 1899, young Taylor was unable to pursue a formal education but that did not stop him from studying at home. He often said that he would not exchange what he had learned the hard way for any college education. He completed a course in business administration through a commercial college. Taylor served as secretary of the Delta County draft board during World War I. In 1920, he purchased the T. L. Stratton Abstract Company, applying his commercial college knowledge to his business. He completely modernized the company’s records and maintained a complete record of every tract of land in Delta County.³²

Taylor served as Delta County’s district clerk for eight years, then served four years as county clerk, followed by four years as county judge, and then county surveyor for four years. It was during his administration as county judge that Delta County sought and received funding from the Work Projects Administration for the construction of the new Delta County Courthouse. Taylor was defeated for reelection as county judge in the Democratic primary in July 1940 but remained in office until January 1, 1941. As county judge, he witnessed the demolition of the 1900 Courthouse, the groundbreaking for the new Courthouse, and significant progress made on its exterior. It was completed in early 1942. Taylor opened an office for his abstracting business in the basement of the Courthouse in 1943 and was still working there when he died on November 2, 1951. Through his thirty years of handling land

³² “Funeral Services held Sunday for John T. Taylor,” *Cooper Review*, November 9, 1951, (<https://texashistory.unt.edu/ark:/67531/metaph976119/m1/1/>; accessed October 1, 2023).



records, Taylor “was credited with knowing more about the title of Delta County lands than any other person.”³³

Architect Biography

Hoke Smith (1896-1943)

Described as a “genial, rotund” man, Hoke Smith was born and raised on a farm on Ten Mile Creek near Duncanville, Texas. Smith attended East Texas Teachers College in Commerce and then returned to Duncanville where he was engaged in farming. In 1929, he worked as a contractor with J. C. Pel on the construction of Duncanville High School. He then took a job at the maintenance department of the Dallas County school district. The *Dallas Morning News* noted that Smith was “[always] fascinated by the possibilities of architecture.” He began developing his skills in the field and became a licensed architect, holding license No. 552. While employed as the Dallas County school engineer, Smith helped the district secure thousands of dollars in federal funding from the PWA and the WPA for the construction of new school facilities and the rehabilitation of existing ones. He then started his own firm around 1936 and continued working with local school districts and municipal and county governments, including the Delta County Commissioners Court, as they sought federal funding for community improvements. Many of his designs incorporated Modernist elements such as horizontal massing, glass block, rounded corners, and smooth walls. However, he also designed schools in Period Revival styles. Smith also designed a large Southern Colonial Revival house for his family in the Stevens Park area of Dallas and a Modernist office building for his firm on Fort Worth Avenue.³⁴

Over the years, Smith employed several architects in his firm, including Walter S. McDaniel, Earl J. Brennan, and William A. Orth, a former engineer in WPA District 4 (Dallas). When Orth joined the firm in 1940, the *Dallas Morning News* reported that Smith planned to open a branch office in Waco. At the time of his death in 1943, he was credited with the design of more than 100 schools and public buildings in thirty Texas counties. He also built hundreds of homes in Dallas. Among his better-known projects were the Delta County Courthouse (1942, extant), the Tomato Bowl, which is a high school football stadium in Jacksonville (1940, extant), and the Dal-Hi Stadium and Fieldhouse, Dallas (1939,

³³ Ibid; “J. T. Taylor Grateful to Voters,” *Cooper Review*, August 2, 1940 (<https://texashistory.unt.edu/ark:/67531/metaph895582/m1/8/>), accessed October 1, 2023; “Notice!”

³⁴ “Hoke Smith Passes After Long Illness,” *Dallas Morning News*, February 4, 1943, 3, (<https://infoweb.newsbank.com>), accessed July 17, 2023; “Smith Sons Carry on Father’s Traditions,” *Dallas Morning News*, April 17, 1955, 1 (<https://infoweb.newsbank.com>), accessed September 25, 2023; “County to Ask \$500,000 PWA School Money,” *Dallas Morning News*, May 30, 1935, 1, (<https://infoweb.newsbank.com>), accessed August 2, 2023; “Pure Southern Colonial Lines for New Home,” *Dallas Morning News*, September 11, 1938, 7, (<https://infoweb.newsbank.com>), accessed August 2, 2023; “Concrete Building Erected in Day by Large Force,” *Dallas Morning News*, June 23, 1940, 11, (<https://infoweb.newsbank.com>), accessed August 1, 2023).



demolished 1981). According to his obituaries, he took the most pride in the latter project. See Appendix E for a list of Smith's work.³⁵



Hoke Smith (1896-1943). Dallas Morning News, April 17, 1955.

Other Project Professionals

Local newspapers and the Delta County Commissioners Court Minutes record numerous individuals and firms who assisted with the construction of the Delta County Courthouse:

- Hoke Smith, Architect, Earl J. Brennan
- Engineer, R. L. Rolfe
- District 4 (Dallas) WPA Manager, Gus W. Thomasson
- WPA foreman, C. E. Farrell (or Ferrell)
- Cast stone craftsman, George P. Simon, Sr.
- Steel, Texas Steel Company, Fort Worth
- Steel (handrails, stairs), Mosher Steel Company
- Gravel hauler, Clover Sullivan
- Equipment and furniture, Wilhide Equipment Company
- Heating system, House Hardware Company
- Plumbing contractor, J. J. Saylor
- Lumber for windows, doors, and transoms, Cooper Lumber
- Lathing, Mr. White

³⁵ "Former WPA Engineer Joins Local Architect," *Dallas Morning News*, March 31, 1940, 4, (<https://infoweb.newsbank.com>, accessed August 1, 2023); "Plan Architects' [sic] Funeral," *Fort Worth Star-Telegram*, February 4, 1943, 4, (www.newspapers.com, accessed September 30, 2023); "Smith Sons Carry on Father's Traditions."



- Plaster in basement, J. T. Quinn
- Stone and brick mason, Weldon McGaha

Wisembaker, Fix and Associates, 1975-1978 Exterior Renovation

Wisembaker, Fix and Associates, a consulting engineering firm from Tyler, was created in 1947. Its principals were Royce E. Wisembaker (1917-2001) and Robert E. Fix (1916-1993). Wisembaker attended Texas A&M College from 1935 to 1940 where he received a Bachelor of Science degree in agricultural engineering and a Master of Science in sanitary engineering. Fix earned a Bachelor of Science and a master's degree in chemical engineering. Much of the firm's work involved the design of waterworks and sewage systems, streets, airports, industrial waste facilities, reservoirs, and municipal planning. Projects undertaken by the firm included the design of water pumping stations with cooling towers on the Texas A&M campus; supervising the construction of Mike Harvey Lake on the Texas Eastern University campus; and the design of a water treatment and delivery system for Lake Palestine southwest of Tyler. By 1981, the firm had a branch office in Denison. In 1984, it became a subsidiary of KSA (Kindle, Stone, & Associates, Inc.), a municipal engineering firm in Longview, Texas. That firm still exists.³⁶

Courthouse Architectural Description

Architectural Style – Art Deco/Classical Moderne

The Delta County Courthouse stands four stories tall with a small penthouse. There is a full basement with lightwells along the perimeter, an elevated first floor, complete second floor and partial third floor. The style of the Delta County Courthouse is somewhat muddled by the renovations that have occurred on the exterior. The symmetrical massing of the building, the sizing and proportion of the windows, and the monumental entries all remain intact and are in line with the Art Deco style. The façade is currently of a sand-colored brick with cast stone elements that are more traditionally classical in style, including a complex profile belt course and an ornate decorative cornice. The result is a watered-down classical style exterior that contrasts with the Art Deco massing. The original façade was more streamlined, with decorative elements that emphasized the verticality of the building. The vaulted entries create the stepped back massing common in Art Deco and Art Moderne buildings, although in plan the building is a simple rectangle. The Penthouse, which is set back from the roof on all sides, also contributes to the Art Deco massing. The base of the façade is of cast stone with relieved horizontal channels. This material change defines the elevated first floor as the primary floor, similar to the way Renaissance architecture defines the *piano nobile*. As this main floor is elevated, there are

³⁶ "Royce E. Wisembaker," *Tyler Morning Telegraph* (Tyler, Texas), September 14, 2001, 17, (www.newspapers.com, accessed August 31, 2023); "Robert E. 'Bob' Fix Rites Today in Tyler," *Tyler Morning Telegraph*, June 5, 1993, 6, www.newspapers.com, accessed August 31, 2023; "Advertisement for Bids," *The Eagle* (Bryan, Texas), May 5, 1970, www.newspapers.com, accessed August 31, 2023; "Harvey Lake to be Scenic Spot," *The Tyler Courier-Times* (Tyler, Texas), June 6, 1976, 69, (www.newspapers.com, accessed August 31, 2023); Kent Wall, "City Taps Into Lake Project," *The Tyler Courier-Times*, July 21, 1987, 1, (www.newspapers.com, accessed August 31, 2023); "History of KSA," KSA, <https://ksaeng.com/about/history-ksa>, accessed August 30, 2023.



stairs leading up to each entry. The north, south, and east entries are all regularly used and are set within vaults on small porches framed by cheek walls. The west entry, accessible from the alley on the west side of the site, is not regularly used by the public. It is lower than the other entries and has a small porch with steps down on each side. There is no vault on this side of the building. There is exterior basement access via stairs on either side of the vaulted entry doors at the north and south elevations. Doors to the basement are directly underneath the north and south first floor doors with an exterior vestibule under the porches. The single-sash original wood windows are vertically oriented and aligned across the façade. The intrusive windows at the District Courtroom are triple height, which serves to differentiate the Courtroom from the rest of the building as a mark of its importance.

Structure

The building is a frame structure built of reinforced concrete. The foundation/basement wall is cast-in-place concrete, and the basement floor is slab on grade. The beams are visible below the floor decks, which appear to be cast-in-place solid slab concrete on the first and second floors. The penthouse/roof deck was observed to be a composite deck, with solid slab under the penthouse, and a thinner waffle slab around the exterior outside the penthouse area. The exterior walls are a curtain wall system with non-loadbearing brick backer walls. The non-loadbearing interior walls are brick that has been coated in a plaster finish. There has been an elevator added with its own independent shaft that provides access to all floors, including the basement and penthouse.

Ornamentation

The ornamentation of the Delta County Courthouse has gone through some changes, as was discussed earlier in the section. Currently, the exterior decorative elements include a cast stone cornice, multiple cast stone belt courses, and brick detailing suggesting a flat arch with a cast stone keystone above the second-floor windows. The original fluted cast stone planters are still in place on the cheek walls framing the north and south entrances. On the original façade, the ornamentation was simpler and more vertical in nature. There were carved relief panels in the horizontal spaces between windows that were fluted to resemble pilasters. This relief carving echoed the fluting on the elongated urn-shaped planters. There was no elaborate decorative cornice, just a cast stone cap with a rounded edge that continued across the slightly taller central vaults on the north and south sides in an abstraction of a cornice. These elements are typical of the Classical Moderne style. There was a metal flagpole just above the keystone of the vault on the north and south facades. In photos of the original façade, it is clear that the building was designed as an abstraction of an Ancient Greek temple, a building type which is commonly referenced in American public and civic architecture. The reference to Greek temple architecture associates the Courthouse with democratic ideals and implies an alignment with divine justice.

On the interior, there is minimal ornamentation. The walls and ceilings are painted plaster. The main corridors on the first floor run north-south and east-west to create a cruciform plan. In these corridors, there is a light beige tile wainscot with a darker beige tile baseboard. There are original schoolhouse globe pendant light fixtures in these corridors, and some original light fixtures in the offices and basement. There are several original doors in the building, some with original brass hardware. A large portion of the building has a thin crown molding that is generally painted the same color as the walls.



There is wood panel wainscoting in the District Courtroom and decorative carving on the original wood courtroom furniture.

Interior

The interior of the building was designed for easy access to public spaces. The basement has one long hallway that runs north-south and terminates at small lobbies in front of the exterior doors. Currently, it holds offices for Texas Parks and Wildlife, Emergency Management, Elections, and a GED course. There are multiple bathrooms, but only two single users are in use. The rest of the basement is relegated to storage and maintenance rooms. The main floor is cruciform in plan with entrances at each of the cardinal directions. It contains offices, including all public interfacing offices such as the Tax Assessor/Collector and the County/District Clerk. There are no restrooms on the first floor, so courthouse staff and visitors must go to the basement to use the facilities. The second floor holds the double height District Courtroom on the east side. The main entry to the courtroom is from a small lobby at the top of the main stairs, which are on the west side of the building. Behind the Courtroom on the north side of the building are the District Judge's office and restroom, the Jury room, and the Court Reporter's office. The west side of the second floor holds offices for the Justice of the Peace and Justice Court, among others. The third floor is small in floor area, as most of the east and south sides are the upper part of the District Courtroom. This floor contains the room being used for the County Commissioners Court, the County Attorney's office, and storage space. The penthouse was formerly the jail and is currently being used as storage.

Vertical circulation can be slightly circuitous. The main stair in the west side of the building only goes from the first floor to the second floor. There is a smaller enclosed stair on the south side that goes from the basement to the penthouse but does not have access to the first floor. There is another enclosed stair on the north side that provides access from the basement to the first floor. A separate enclosed stair on the north side provides access from the second floor to the third floor. There is also an elevator that serves all floors but is generally considered unsafe to use.

List of Character Defining Features

Just like people, every building has features that make it distinct and different from others. People may be characterized by hair color or height, whereas the features that characterize a building "include the overall shape...its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment."³⁷ Preservationists, including the Texas Historical Commission and the National Register of Historic Places, call these "character defining features."

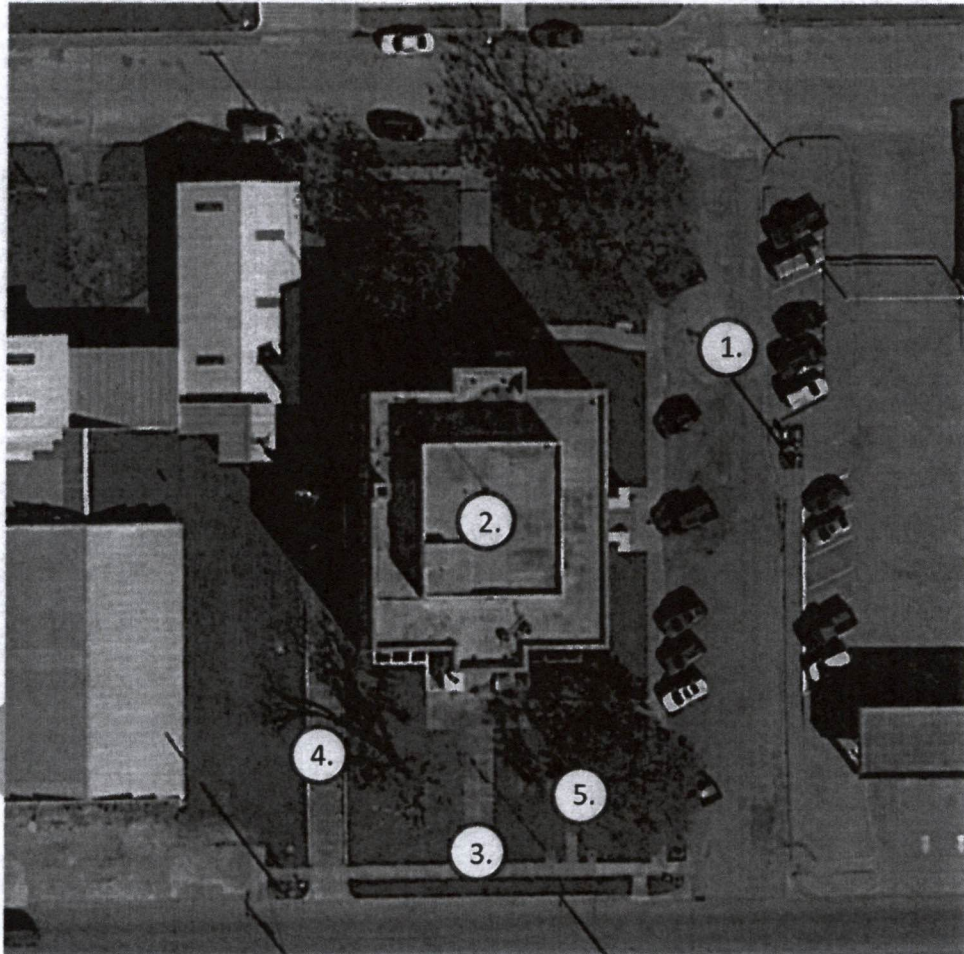
The list on the following pages highlights the features that make the Delta County Courthouse unique. These features must be preserved and repaired. It is important to note that the original plaster finish, paint color for all walls, and other historic finishes will be determined in a later phase by a conservator. At that time, these elements must be incorporated into the Character Defining Features list.

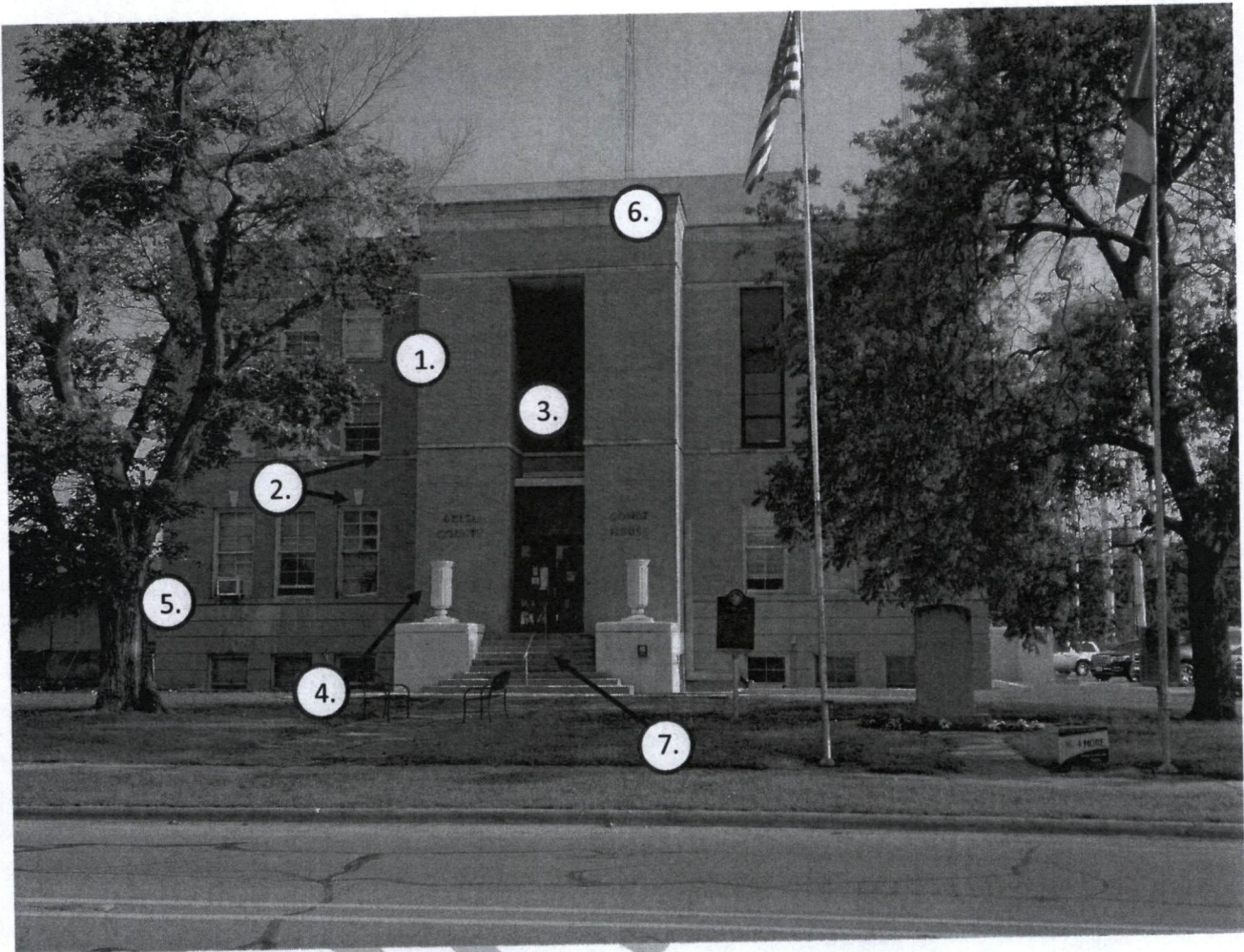
37 Nelson, 1.



Site Character Defining Features

1. Parking on East side of site
2. Penthouse inset from edges of roof
3. Sidewalks at cardinal directions
4. Alley along West side of Site
5. Memorials and Markers



Exterior Character Defining Features

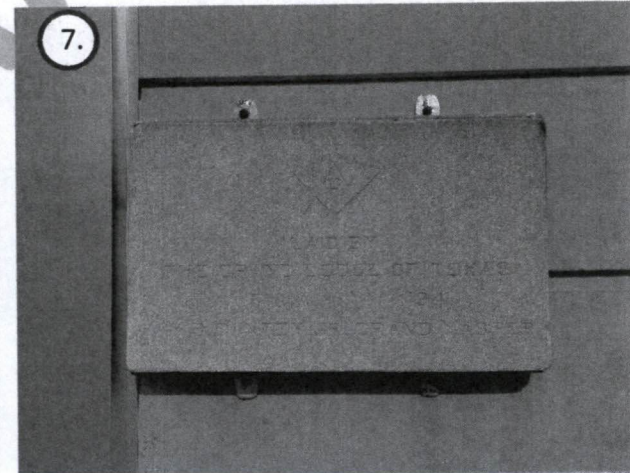
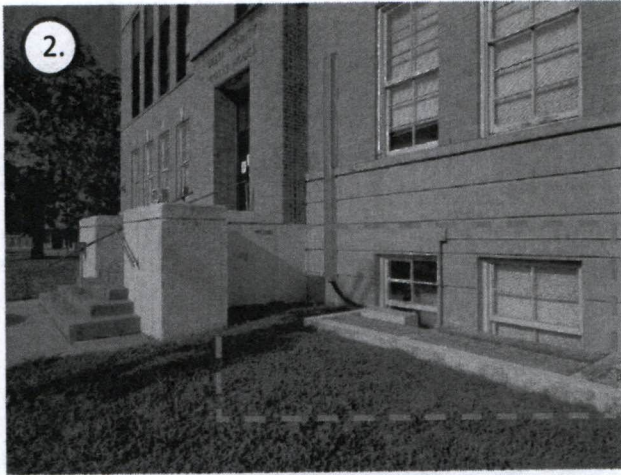
1. Buff Brick Exterior (formerly Cast Stone Cladding, changed in 1977)
2. Cast Stone Decorative Elements, including keystones and belt courses
3. Vaulted Main Entry with Recessed Double Door at Entrance (Current doors are intrusive.)
4. Large, Fluted Cast Stone Planters at North and South Façades
5. Material shift from Cast Stone to Masonry defines Piano Noble
6. Decorative Cast Stone Cornice
7. Grand Stair to Entry with Intrusive Covering



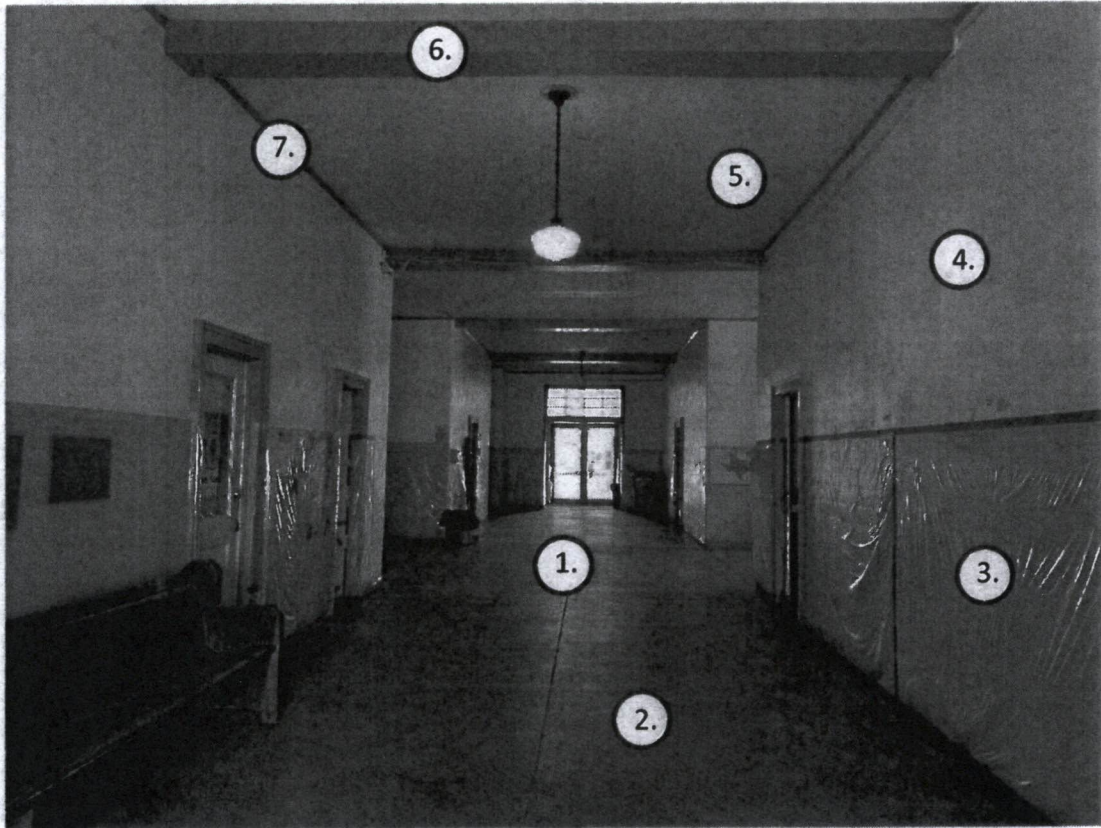


1. Symmetrical Massing both North-South and East-West (Individualized windows on second floor)
2. Basement Light Wells around Perimeter
3. Original Wood Windows
4. Decorative Carved Channels in Cast Stone Base
5. Metal Signage Spelling out the name of the Courthouse
6. Basement Access under Main Floor Entry on North and South Façades
7. Original Cornerstone Hung on East Façade

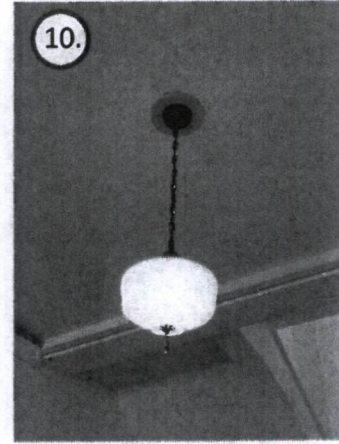
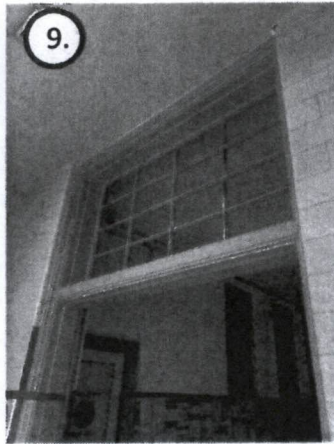




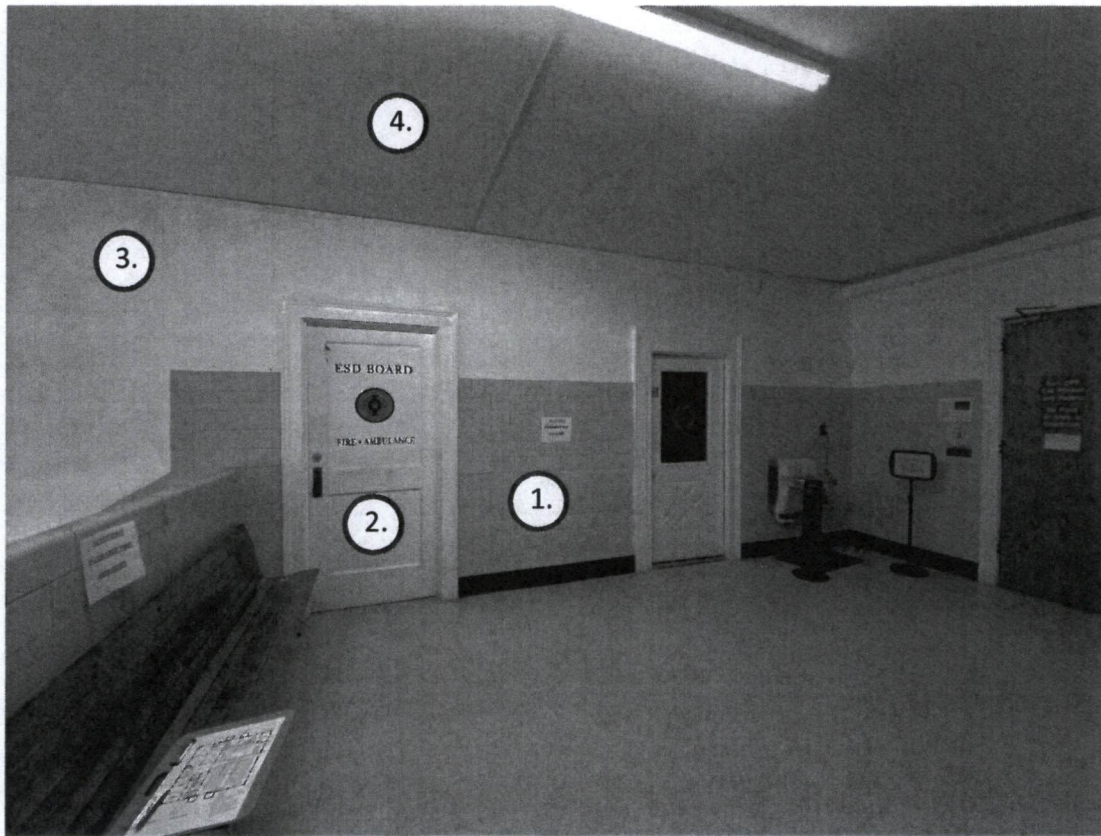
First Floor Corridor Character Defining Features



- 1. North-South, East-West layout
- 2. Concrete Floors
- 3. Beige Tile Wainscot
- 4. Plaster Walls
- 5. Plaster Ceilings
- 6. Plaster-covered Beams
- 7. Thin Crown Molding
- 8. Interior Windows
- 9. Transom Window at Entry Vestibule
- 10. Schoolhouse Globe Pendant Lights

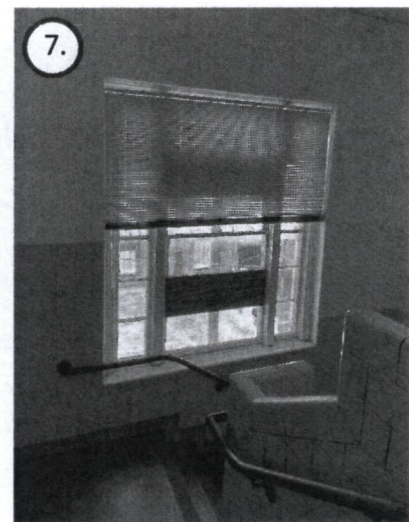


Second Floor Corridor Character Defining Features

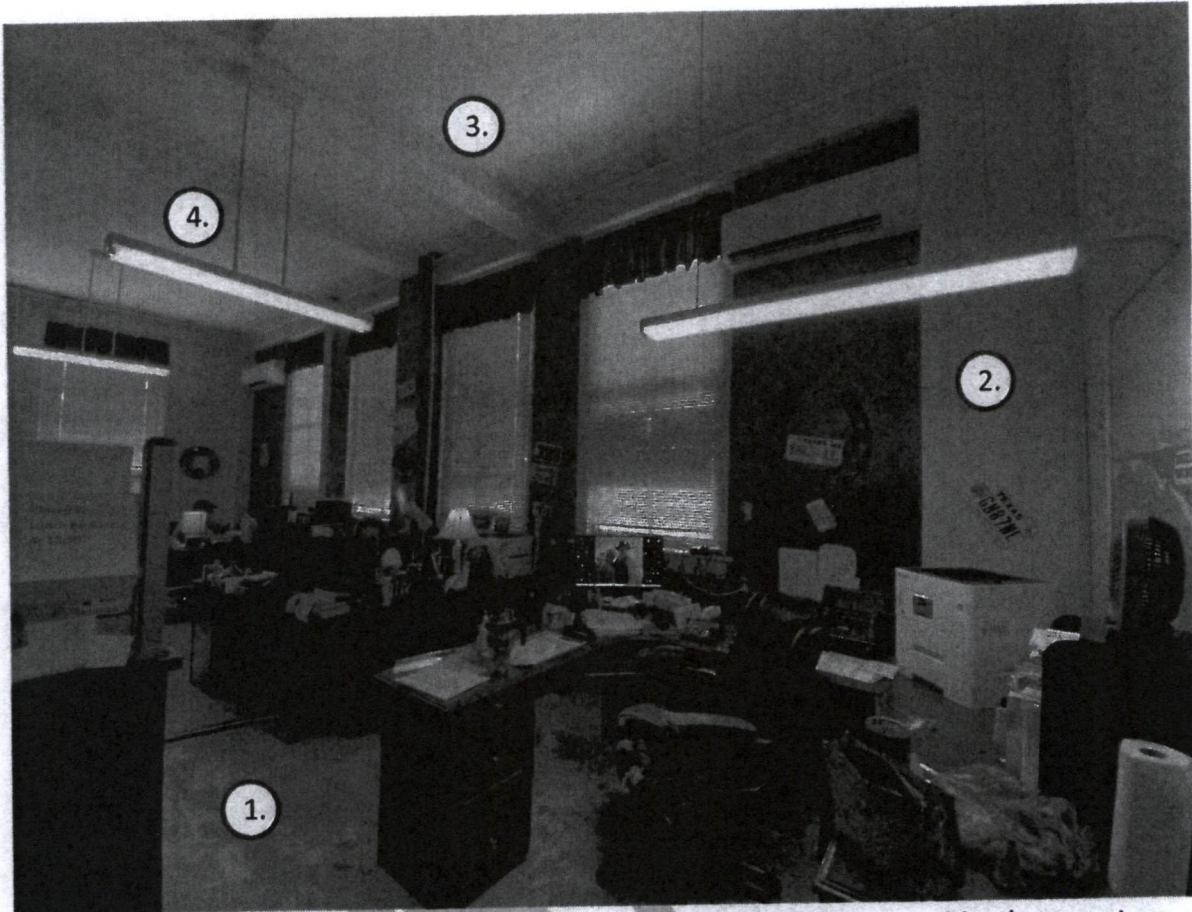


- 1. Beige Tile Wainscot
- 2. Simple Wood Doors
- 3. Plaster Walls
- 4. Plaster Ceiling

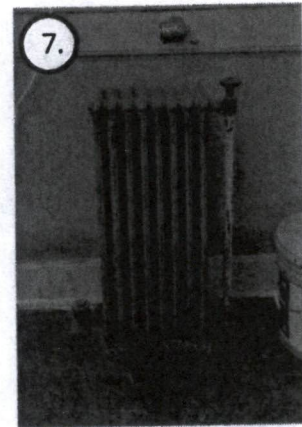
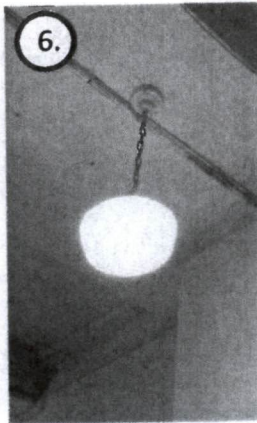
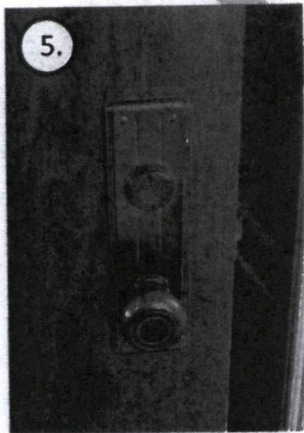
- 5. Grand Concrete Stair
- 6. Darker Beige Tile at Wall Base
- 7. Double Height Window at Stair



Offices



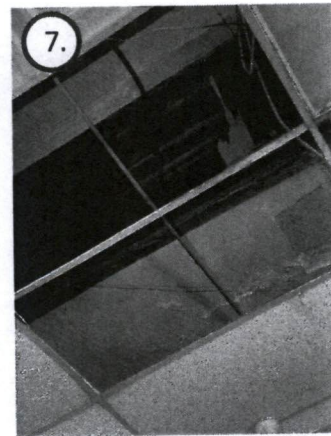
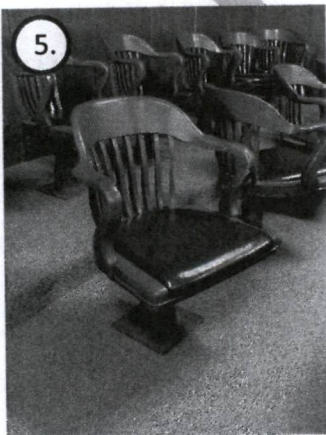
- 1. Concrete Floors
- 2. Plaster Walls
- 3. Plaster Ceilings with Visible Beams— Some offices have contemporary drop ceilings.
- 4. Suspended Light Fixtures- 1st Floor
- 5. Brass Hardware – Mostly present on original doors, some have been replaced.
- 6. Schoolhouse Globe Light Fixtures
- 7. Wall-Mounted Radiators
- 8. Painted Wood Baseboards (Not Pictured)



District Court Room



- 1. Wood Wainscot
- 2. Plaster Walls
- 3. Plaster Ceilings with Visible Beams—
Above contemporary drop ceilings.
- 4. Wood Encased Columns in Walls
- 5. Original Wood Furniture – *Gallery Benches, Bar, Judge's Desk, Jury Seats, Witness Box, Lawyer's Tables*
- 6. Decorative Carving on Bar & Benches
- 7. Wood Facing on Furr Down Above Bench



Modifications & Alterations Timeline

The facts and details in this section were drawn from the Delta County Commissioners Court Minutes, Delta County Civil District Court Minutes, historic drawings, and local newspapers. The book and page number of the original Commissioners Court Minutes are included below. Scanned copies of the original minutes are included in Appendix C. Plans are included in Appendix D. Information from newspapers is cited with the source and date.

1939

Mar. 13 – The Court entered a contract with Hoke Smith, architect, for the design of a new Courthouse and to assist with an application to the Works Progress Administration (WPA, the name was changed later that year to the Work Projects Administration) for the construction of the building. Book J, pg. 535.

Jul. 21 – The Court accepted C. N. Burt and Company's proposal for the issuance of warrants of approximately \$30,000 should a new Courthouse be constructed. Book J, pgs. 562-63.

Oct. 24 – The Court authorized Delta County Judge J. T. Taylor to sign an application to the WPA for the construction of a new Courthouse. Book K, pg. 12.

1940

Jan. 13 - President Franklin D. Roosevelt approved the Work Projects Administration project for the construction of a new Courthouse for Delta County. *Delta Courier*, Jan. 16, 1940.

Feb. 12 – The Court authorized \$40,000- Delta County Courthouse Warrants (series 1940), calling for a referendum. Book K, pgs. 27-33

Mar. 13 – The ceremonial groundbreaking for the new Courthouse was interrupted by rain. *Cooper Review*, Mar. 13, 1940.

Mar. 14 – The demolition of the 1900 Courthouse was started. *Cooper Review*, Mar. 15, 1940.

Mar. 27 – The Court designated the I.O.O.F. Hall at the northeast corner of the public square as the County Courthouse while the old Courthouse was being demolished and the new courthouse was being constructed. Book. K, pg. 46.

Apr. 4 – Delta County Commissioners authorized County Judge J. T. Taylor to approve and sign Hoke Smith's plans for the courthouse. Book K, pg. 50.

Apr. 18 – The Court of Civil Appeals in Texarkana ruled that the Delta County Commissioners had the authority to build a new Courthouse someplace other than the public square after a dispute arose over the relocation plan. Civil District Court Minutes, Book M, pgs. 254, 268, 273, 274.



Late Apr./early May - The 1900 Courthouse's cornerstone was opened. The items inside included coins dated 1875 and 1899, a watch charm, gold wedding ring, and Dallas and Cooper newspapers. The coins were placed in a metal box for the new Courthouse's cornerstone. *Paris News*, May 2, 1940.

May 16 – The Court approved the rental of the basement of the Cooper City Hall for temporary jail quarters for twelve months for \$100 and authorized the County to make any repairs at the County's cost. The County had the option to extend the time as needed. Book K, pg. 63.

Jun. 10 – The Court authorized the County Judge to advertise for bids for the purchase and delivery of sand, gravel, and steel for the Courthouse. Book K, pg. 64.

Jun. 15 – The Court set hourly rates for skilled workmen at the following rates: Baker of Cast Stone, \$1.25; Brick Layers, \$0.75; Electricians, \$0.75; Plumber, \$0.75; Carpenters, \$0.40; Tile Setters, \$0.75; Roof Man, \$0.75; Cement Finisher, \$0.75; and Plasterers, \$0.75. The Court also agreed to hire George P. Simon, Sr., stone mason, for \$10 per day. The Court also awarded the contract for hauling gravel for the Courthouse project to Clower Sullivan. The gravel would be hauled from seven miles northeast of Hugo, Oklahoma at a price of \$1.49 per cubic yard. Sullivan was required to execute a performance bond in favor of Delta County in the sum of \$100. Book K, pg. 66.

Jun. 21 – The demolition of the old courthouse was completed; work began on the new Courthouse. *Cooper Review*, Jun. 21, 1940.

Aug. 3 – The Court approved the purchase of steel from Texas Steel, Fort Worth. Book K, pgs. 72-74.

Sep. 30 – The Court approved the purchase of a seven-foot-wide strip of land next to the new Courthouse from Chevrolet Motor Company for \$50. Book K, pg. 93.

Nov. 16 – The Court approved the purchase of equipment and furniture from the Wilhide Equipment Company.

Dec. 9 – The Court approved the purchase of steel from Mosher Steel Co. and a heating system from House Hardware Company for the Courthouse. Book K, pgs. 120, 121.

Dec. 30 – The Court approved the purchase of hardware and tiling (Acme Brick Co.) and agreed to employ Fuller Topping to assist WPA foreman C. E. Ferrell (Farrell?) as a special steelman. Book K, pg. 125.

1941

Feb. 18 – The Court accepted the bid for doors, windows, and transoms from Cooper Lumber. It also approved hiring Mr. White from Paris, Texas to assist with lathing in the courthouse and awarded J. J. Saylor the plumbing contract. Book K, pg. 164.

Apr. 7: The cornerstone was laid at the northeast corner of the new Courthouse. *Cooper Review*, Apr. 11, 1941.



Apr. 25 – The Court awarded the contract for setting the brick and stone at the Courthouse to Welden McGaha. Book K, pg. 184.

Jun. 23 – The Court approved the hiring of J. T. Quinn to plaster the basement walls. Book K, pg. 247.

Nov. 26 - Workmen began leveling and landscaping the Courthouse grounds. Much of the building's office space was already occupied. *Cooper Review*, Nov. 25, 1941, and Nov. 28, 1941.

1942

Jan. 14 – The District Courtroom was formally opened in the new Courthouse even though the building was not completed. *Delta Courier* (Cooper, Texas), Jan. 13, 1942.

Feb. 25 – The building was completed. *Paris News*, (Paris, Texas) Apr. 3, 1942.

April 2 – Governor Coke R. Stevenson dedicated the new Delta County Courthouse before a crowd of 500. *Paris News*, Apr. 3, 1942.

1947

December 7 – Morgan-Loftin Post 8535, Veterans of Foreign Wars (VFW), dedicated a monument honoring Delta County servicemembers killed in World War I and World War II. The granite monument and associated landscaping were erected in the southeast corner of the courthouse lawn. *Cooper Review*, Dec. 12, 1947.

1951

August 1 – A jail inmate broke water pipes in his cell, causing flooding throughout the building and considerable damage to the "stucco" ceiling and wood paneling in the District Courtroom. *Cooper Review*, Aug. 3, 1951.

1967

Jan./Feb. – A Grand Jury issued an inspection report for the Courthouse citing numerous deficiencies including unsafe and unsanitary conditions in the jail and inadequate plumbing and heating. *Cooper Review*, Feb. 9, 1967.

1975

Nov. 19 – The District Court session was halted after exterior stones fell from between two courtroom windows on the east side of the Courthouse. *Cooper Review*, Jan. 15, 1976.

A study completed by the Tyler engineering firm Wisenbaker, Fix and Associates determined that the Courthouse was basically sound although substantial work was needed on the exterior. It offered three alternatives: 1) Remove all the original cast stones, clean, and replace them. This would not impact the Courthouse's appearance; 2) Replace the cast stone with brick which would substantially alter the building's appearance; 3) Replace the cast stones with a combination of brick and metal which would



also substantially alter the Courthouse's appearance. It was estimated that the cost of the repairs would be between \$150,000 and \$200,000. *Cooper Review*, Jan. 15, 1976.

Dec. 11 – The Court authorized the hiring of a masonry “Restoration Contractor” as recommended by Gerry Rudd (consulting architect, Wisenbaker, Fix and Associates) to examine the exterior of the courthouse for necessary repairs. Vol. M, pg. 118.

1976

Aug. 26 – U. S. Representative Sam B. Hall, Jr. announced that the Economic Development Administration (EDA) had approved a \$140,000 grant for the renovation of the Courthouse's exterior walls. Delta County supplemented the grant with \$35,000, for a total project cost of \$175,000. *Cooper Review*, Aug. 26, 1976.

Dec. 28 – The Court met in a called session to review the bids it received for the Construction and Renovation for Contract Project 1089, EDA Project no. 08-11-01792. Reid Construction Company, Alba, Texas submitted a total base bid of \$184,937, Alternate \$76,000. Moore and Son Construction submitted a base bid of \$214,755, Alternates \$78,968. The Court met again in another called session on Dec. 30, 1976, and awarded the contract to Reid Construction for the sum of \$158,000 based on the base bid and exercising alternate item 4A and deleting items 9 and 10. The award was contingent on the acceptance of the EDA. The Court agreed to pay the \$500 in excess of the available funds. Vol. M, pgs. 136-37.

1977

Jan. – Work began on the recladding of the Courthouse in brick. *Cooper Review*, Jan. 27, 1977.

1978

Apr. 7 – The Courthouse's cornerstone was re-laid, signifying that the building's renovation was nearly complete. *Cooper Review*, Apr. 13, 1978.

Apr. 19 or 26 – A boiler explosion caused extensive damage to the Courthouse (details unknown). The Wiler Electric Company replaced the boiler later that fall and the power plant was repaired. *Cooper Review*, Apr. 27, 1978 and Oct. 12, 1978. County Commissioners Court Minutes, Book M, pg. 170.

1985

Sep. – Delta County's 1986 budget included funds for mandated renovations for accessibility. *Cooper Review*, Sep. 19, 1985.

Oct./Dec. – The Court received bids for the mandated Courthouse accessibility renovations based on the plans provided by Gerald L. Foster, architect. The work included the construction of an accessibility ramp at the north entrance, the installation of an elevator, and modifications to the men's and women's restrooms in the basement. Patrick Construction Company, Mineola, Texas, submitted a bid of \$121,000; BFC Corporation, Bonham, Texas, submitted a bid of \$127,303; and Sowesco, Inc., Greenville, Texas, submitted a bid of \$138,000. The contract was awarded to Gary Patrick of Patrick

Construction. *Cooper Review*, Oct. 31, 1985, and Dec. 12, 1985. The construction drawings are included in Appendix D.

1986

Work began in January on the state-mandated accessibility upgrades project. Designed by Gerald L. Foster and Associates, architect, and constructed by Patrick Construction Company of Mineola, Texas, the work consisted of the installation of an elevator manufactured by the Dover Corporation and the construction of an accessibility ramp at the Courthouse's north entrance. *Cooper Review*, Dec. 12, 1985.

1988

Jan. 11 – The Court approved Thomas H. Payne's bid of \$12,992.00 for the installation of windows for the District Courtroom supplied by Winco Mfg. Co. Vol. N, pg. 360.

Sep. 20 – State Jail Inspector Bob Daring from the Texas Commission on Jail Standards made a surprise inspection of the jail. Daring approved the remodeling of the fourth floor's jail into a low-risk facility but noted a few corrections were needed. By converting it to a low-risk facility, the county was able to expand the jail's capacity from seven to fifteen inmates. *Cooper Review*, Sep. 17, 1998.

1989

The Court purchased the eastern half of the 200 block on West Bonham Ave directly north of the Courthouse. The other half of this block had previously been purchased by the county in June 1981. The land was designated for a new jail facility to replace the jail in the penthouse of the Courthouse, which no longer met jail standards. Moving inmates to a more secure and modern facility meant that the fourth floor could be renovated for other purposes. *Cooper Review*, Feb. 8, 1990. County Commissioners Court Minutes, Book N, pgs. 605, 616-617, 620, 622, 632, 658, 677, 708, 712, and 720-721.

1996

Delta County received a grant to provide elevator service to the fourth floor (former jail area). The work was ongoing in Jan. 1998. The provision of elevator service to this floor made it possible for the space to be used for other purposes. Much of the labor was provided by county jail inmates. The Delta County Commissions Court considered leasing or auctioning office space on the fourth floor but later deemed it was inappropriate based on an opinion from the Texas Attorney General's Office. Family Haven, a social service organization, also opened offices on the third floor. *Cooper Review*, Jan. 8, 1998. County Commissioners Court Minutes, Book P, pgs. 780, and 818.

1997

Exterior Christmas lights were installed on the courthouse. *Cooper Review*, Jan. 8, 1998.

1998

Family Haven STAR (Services to At-Risk Youth) Program's third floor offices were remodeled. *Cooper Review*, Feb. 26, 1998. Discussion of third floor rental possibilities in County Commissioners Court Minutes, Book Q, pg. 242.



Feb. 9 – The Court chose the color gray (or pewter) for the grout on the courthouse floors. Komatsu assumes new tile flooring was installed at the first-floor corridors at this time. *Cooper Review*, Feb. 12, 1998. County Commissioners Court Minutes, Book Q, pg. 242.

2007

Apr. 10 – Delta County Commissioners approved the purchase of roof tar for the repair of the courthouse roof. The work was performed by county employees. *Cooper Review*, Apr. 12, 2007. County Commissioners Court Minutes, Book V, pgs. 115-116.

2012

Jan./May – Security cameras were placed in some offices and the courtroom. The sound system in the courtroom was also upgraded. *Cooper Review*, Jan. 12, Mar. 1, and May 17, 2012. County Commissioners Court Minutes, Book Z, pg. 514.

2015

Sept. – Repairs began on the stairs on the east side of the Courthouse. *Cooper Review*, Sep. 17, 2015. County Commissioners Court Minutes, Book EE, pgs. 737, and 792-793.

2016

Mar. – Jail inmates were used to repair the Courthouse’s south steps. *Cooper Review*, Mar. 24, 2016.



Plaques at the first floor corridor commemorating the major Courthouse projects.



Historic Designations

The Delta County Courthouse does not hold any local, state, or national historic designations at this time. This was confirmed by the THC's "Protection of County Courthouses" list and Atlas (Record Number 4302000108). Preservation easements have not been granted by the County at present. The County recognizes all requirements and standards contained in the Texas Government Code Section 442.008 concerning county courthouses.

The change to the Courthouse's exterior cladding from cast stone to brick in 1977-1978 significantly changed the building's appearance. Because this alteration occurred less than fifty years ago, the Courthouse is currently not eligible for the National Register of Historic Places. The building should be eligible for the National Register in 2028 barring any significant alterations. The accessibility modifications made to the interior and exterior of the Courthouse in 1986 should not impact the building's eligibility as these are acceptable treatments for historic buildings.

Significance, Integrity, & Restoration Date

Period of Significance / Restoration Date – 1942 or 1978

The Delta County Courthouse is an important local and regional landmark worthy of preservation. The building looks just as it did in 1978 after the exterior recladding work was completed. At the interior, it retains its original 1942 circulation corridors in the basement, first, and second floors. The second floor's district courtroom remains in its original location.

The National Register of Historic Places sets federal standards to determine if a building is worthy of preservation based on the building's age, significance, and integrity. Integrity is defined as "completeness" or the amount of historic fabric from the period of significance that still exists. Integrity is judged on Seven Aspects which are outlined below with commentary about the Courthouse.

1. Location – The building remains in its original location.
2. Setting – The setting around the Courthouse has changed slightly with the construction of the jail facility to the west of it. The parcel historically had commercial structures on it. However, it is still on the west edge of the commercial district and two blocks west of the public square which remains largely intact.
3. Design – TBD
4. Materials – TBD
5. Workmanship - TBD
6. Feeling – The Courthouse provides major county services to the public and is regularly utilized by the community as it was originally intended.
7. Association – The Courthouse retains its function and therefore its association with providing county services to the people of Delta County.

Historic Drawings

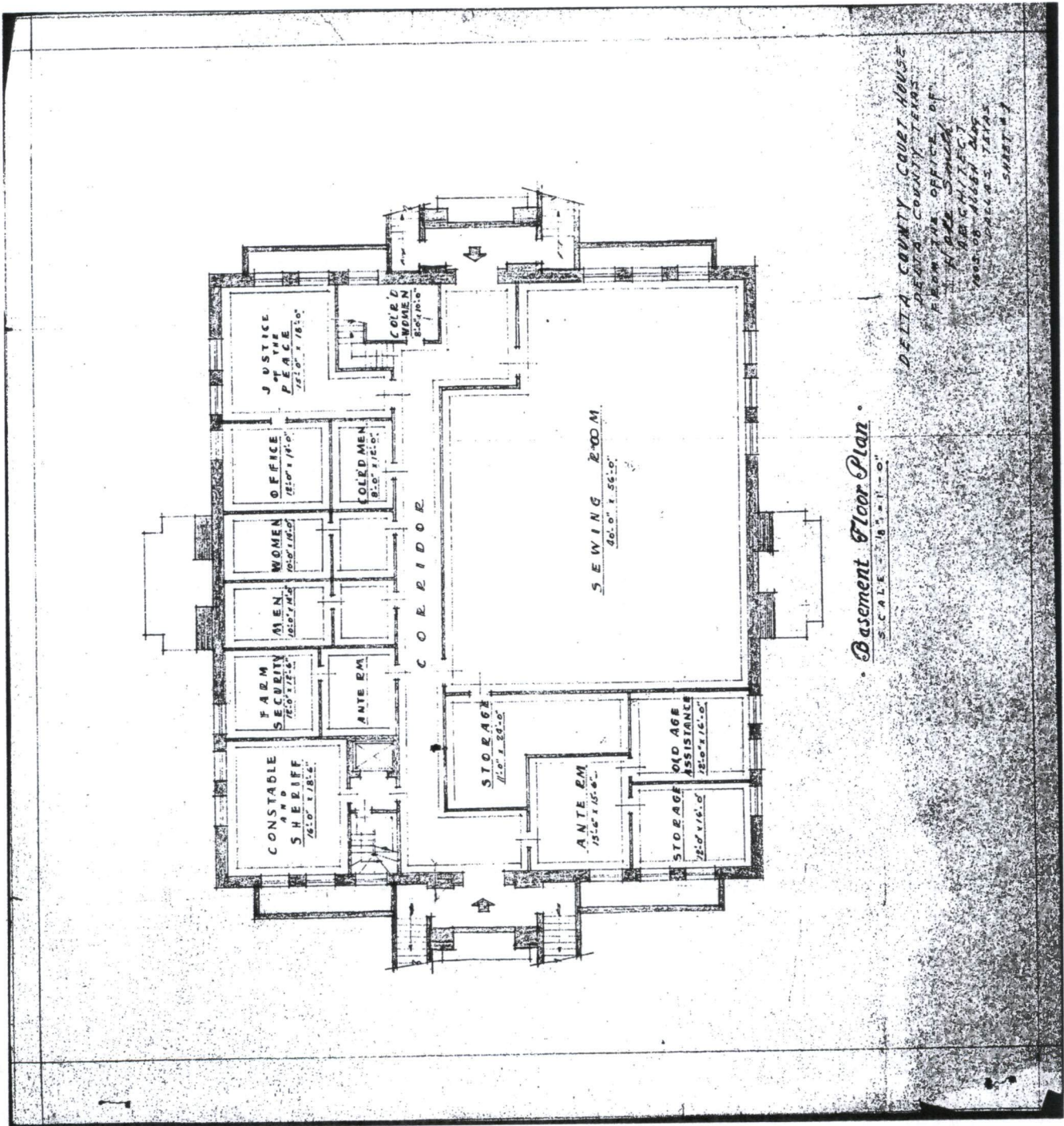
The following are the original construction drawings for the Courthouse:

- Undated (assumed 1940) Original Floor Plans by Hoke Smith Architects
- 1978 Exterior Restoration Construction Drawings by Wisenbaker, Fix, and Associates

Additional shop drawings from each period are included in the Appendices.

DRAFT

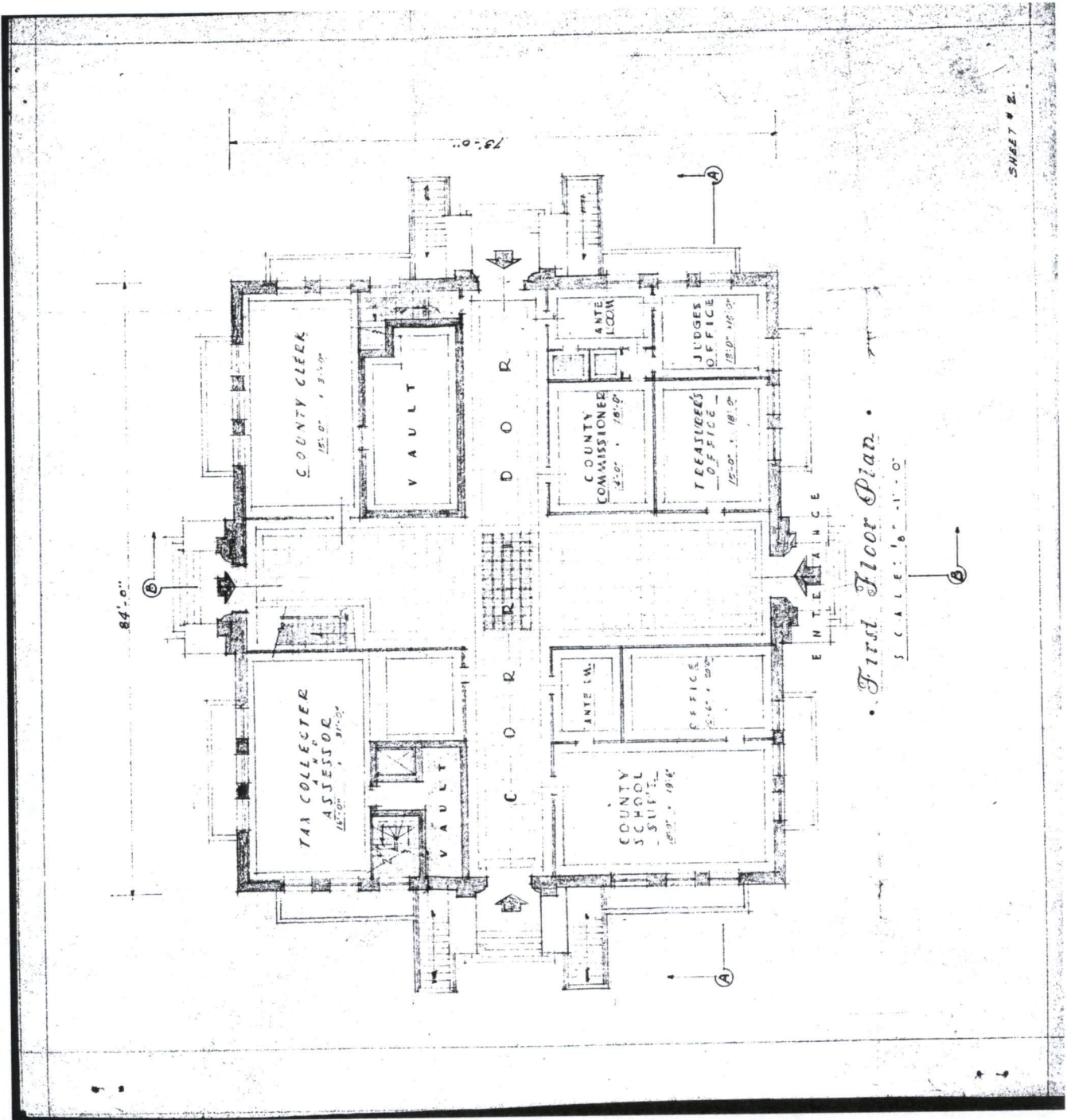




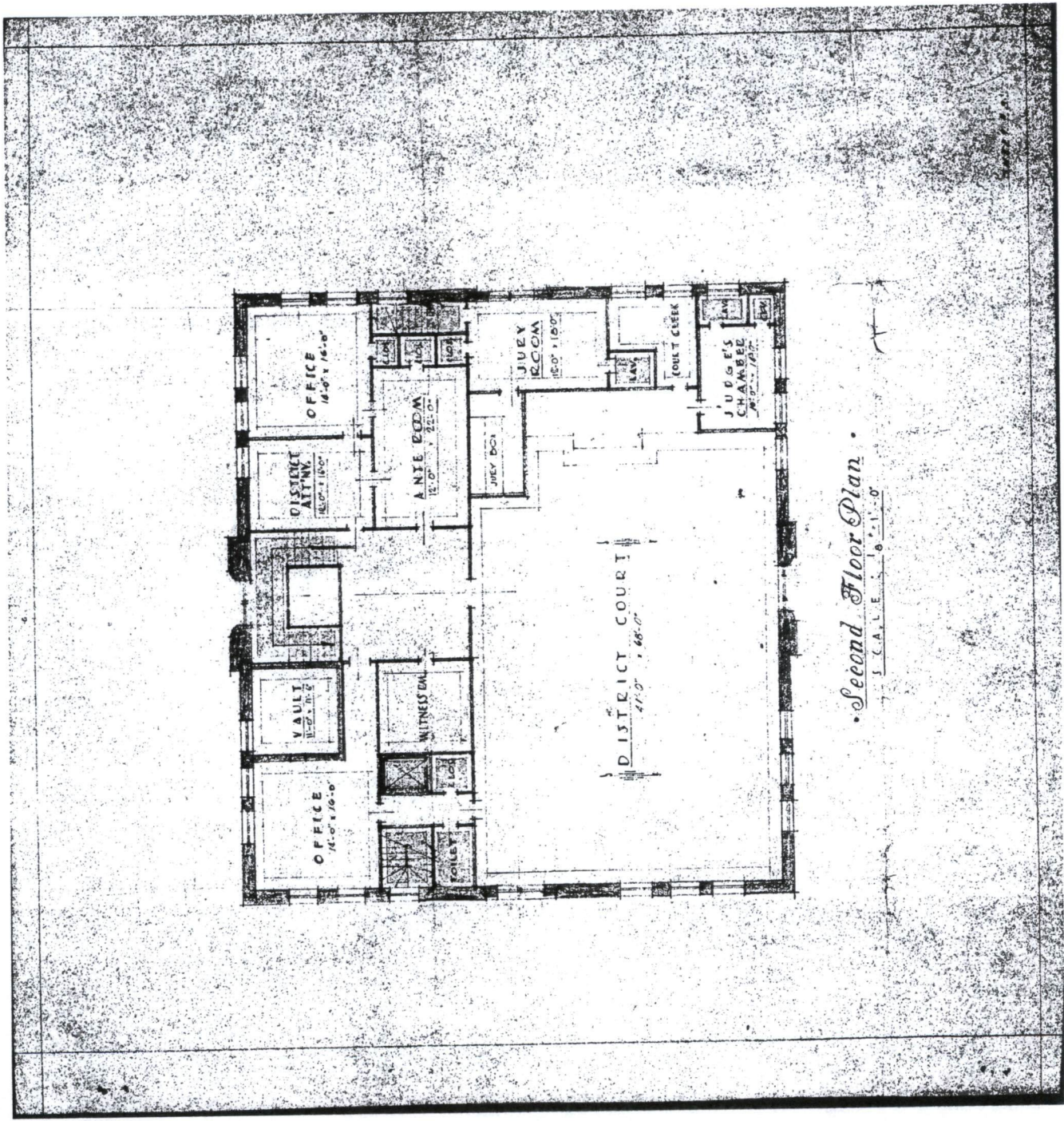
Basement Floor Plan

SCALE - 1/8" = 1'-0"

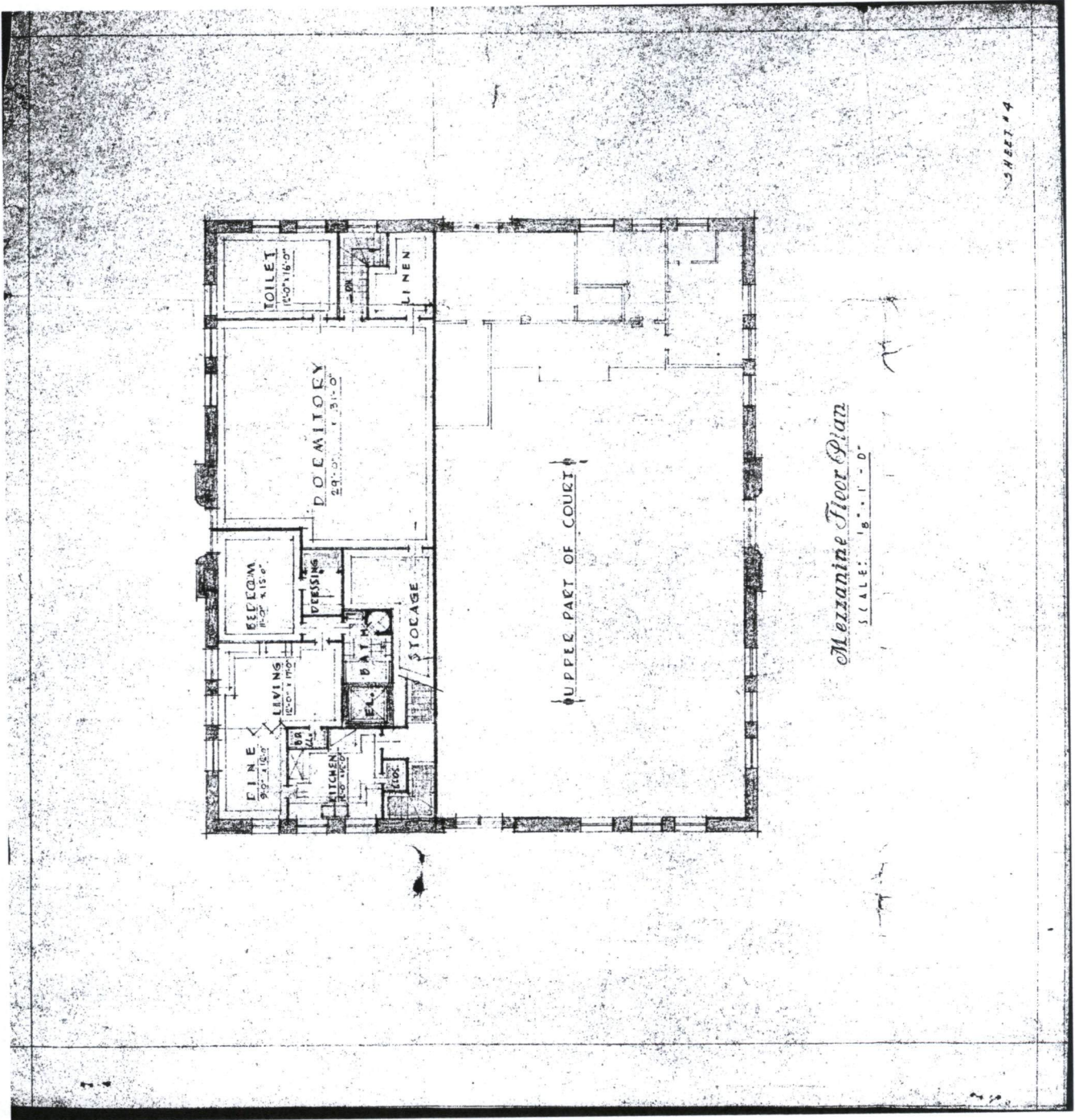
DELTA COUNTY COURT HOUSE
DELAWARE COUNTY TEXAS
DESIGNED BY THE OFFICE OF
ARCHITECTURE
1005-106 AUGER WAY
DALLAS, TEXAS
SHEET 2-1



SHEET # 2.

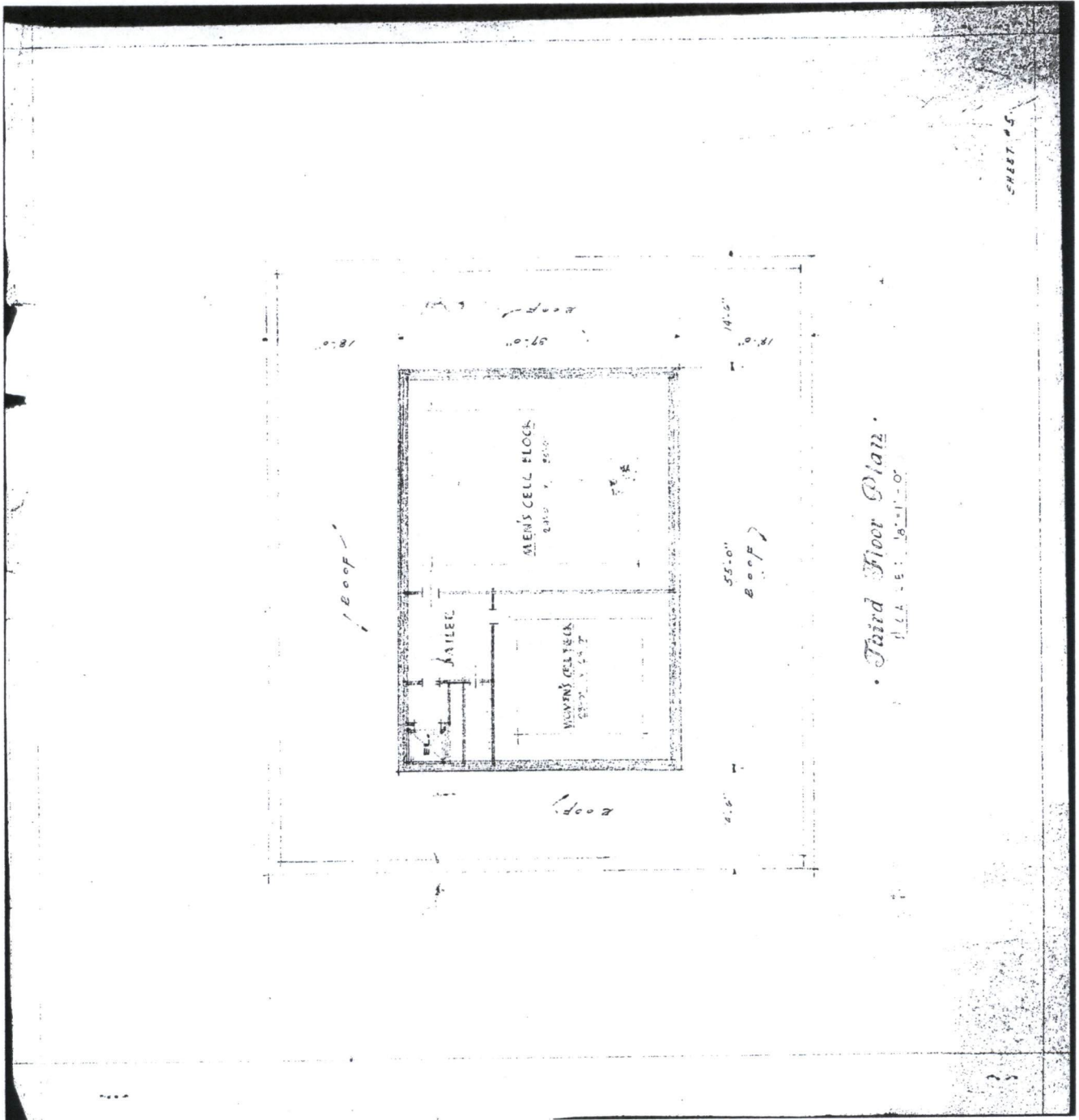


Second Floor Plan
SCALE 1/8" = 1'-0"

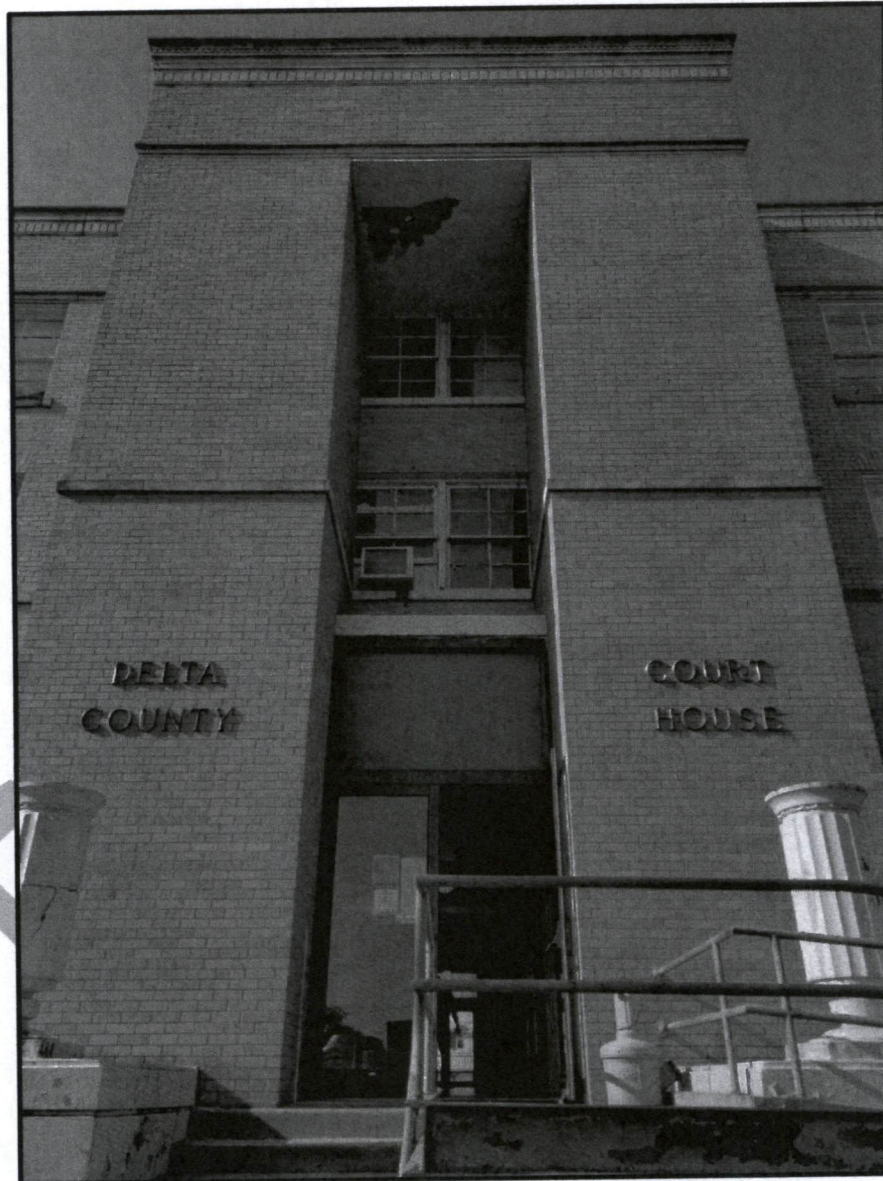


SHEET 14

Mezzanine Floor Plan
SCALE: 1/8" = 1'-0"



3. EVALUATION OF EXISTING CONDITIONS



In this section, the project team has evaluated each piece of the courthouse building and site to determine its existing condition and needed repairs or alterations. Deteriorated elements or “deficiencies” are outlined in the narrative and located on the drawings that follow each section. The restoration recommendations in Chapter 4 were developed based on this condition assessment.

The condition of each building element has been rated based on the following scale:

- **Excellent** – Like new. This item requires no work.
- **Good** – Finishes show normal wear. The item requires no immediate work.
- **Fair** – The item is wearing or beginning to sustain damage / loss of finish or integrity. It should be scheduled for maintenance or repairs.
- **Poor** – The item is sustaining damage to the base materials. Repairs and/or refinishing should be scheduled for the near future.
- **Severe** – The item has sustained serious deterioration and poses imminent threat of loss of historic fabric. The possibility of potential danger to occupants or users of the structure is a concern.

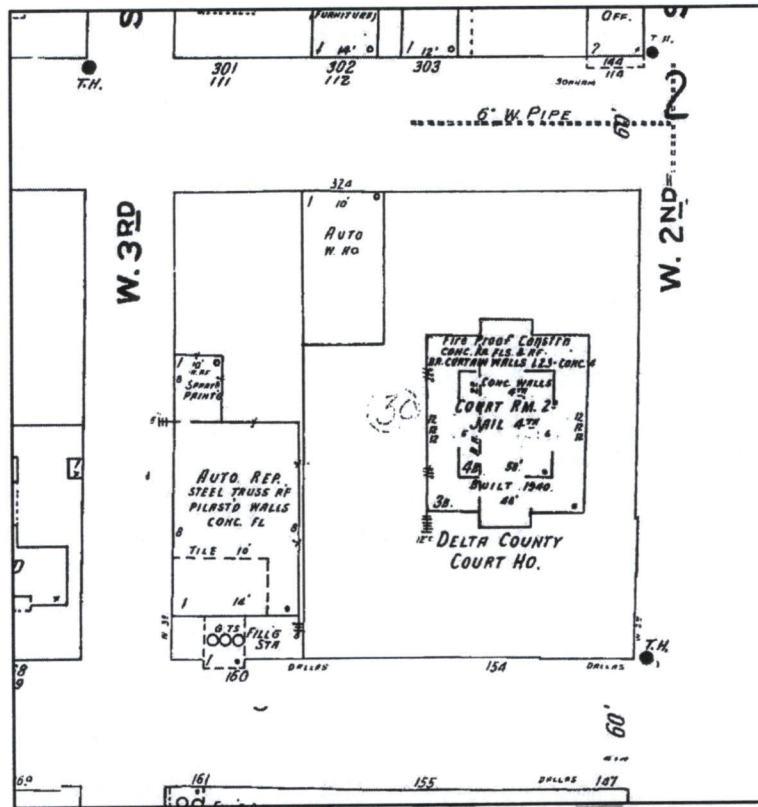
Site Conditions

The Delta County Courthouse occupies half a city block in downtown Cooper, Texas, one block removed from the central public square. The primary façade faces West Dallas Avenue which is also Business Texas State Highway 24. The main parking area is located on the east side of the Courthouse along Northwest 2nd Street. The west side faces a paved alley that separates the County’s parcel from the neighboring lot. According to County staff, the County has never owned the west half of the block.

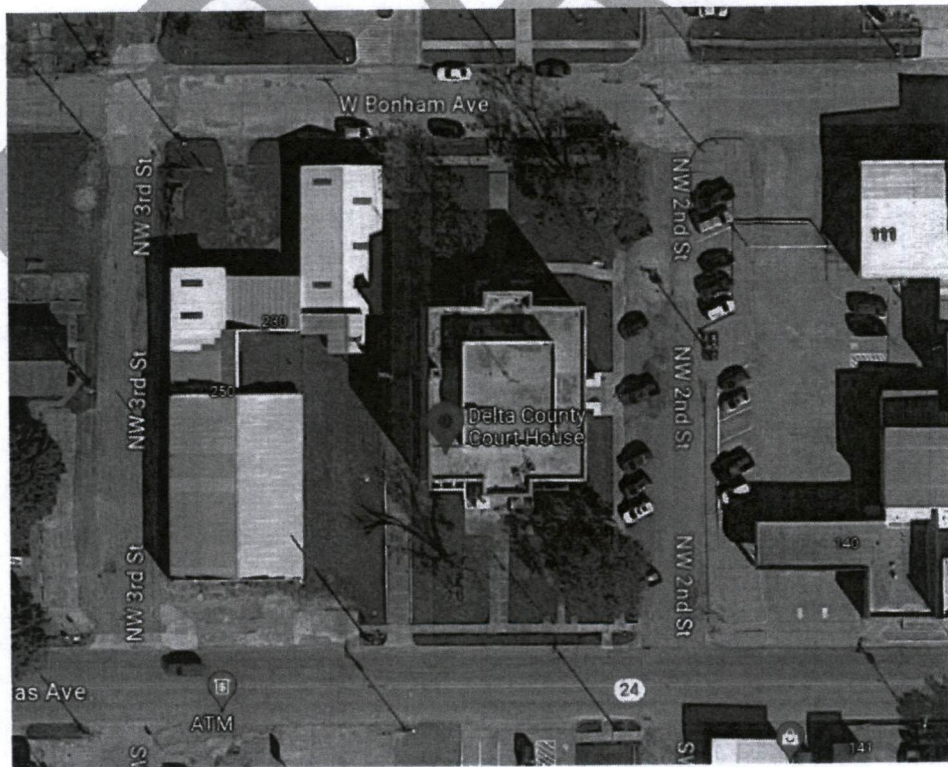
The original construction drawings do not include a site plan. However, Sanborn Fire Insurance maps and photographs document the original design of the Courthouse Square. Unlike other counties where the courthouse has an expansive lawn, the 1942 Courthouse has always been in close proximity to other downtown structures. The 1923/1942 Sanborn maps illustrate buildings on the west half of the block. The east façade has faced the backside of the buildings to the east since its inception. The images on the following pages illustrate that the original landscaping was mostly low to medium height plantings. Small trees are visible at the center of the turf areas in both historic photographs. Several pecan trees were planted over the years during various ceremonies held on the lawn.

Several features have been added to the site in the subsequent decades including monuments, markers, and benches. An accessible ramp has also been added to the north entrance. The following sections describe the condition of the main site features.



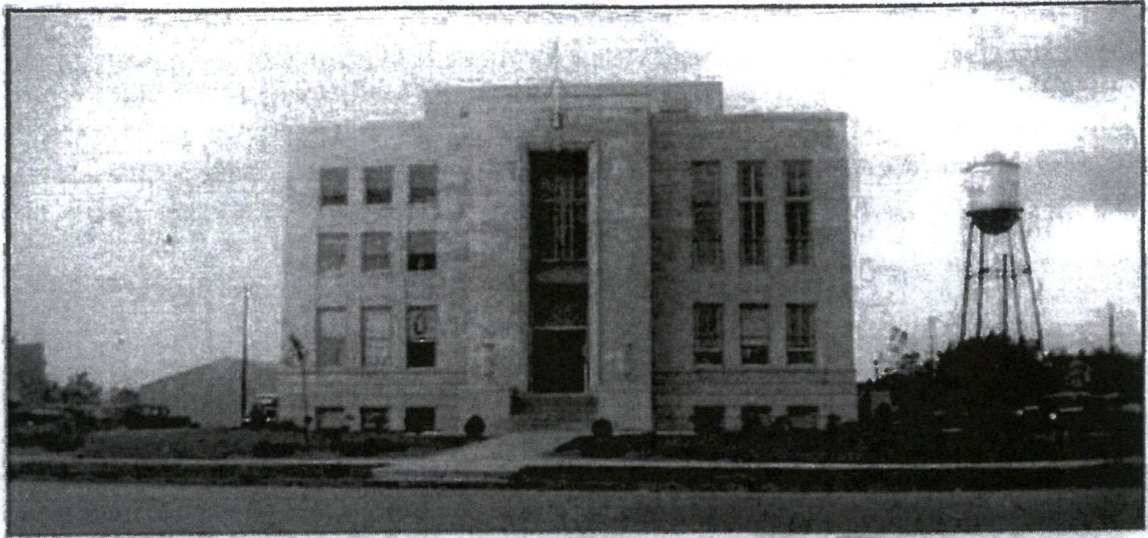


Sanborn Map from 1923-1942 showing Historical Site Plan of Courthouse



Current Aerial View Courtesy of Google Earth





Delta County Courthouse circa 1941. Courtesy of Marion Miller via Delta County Images of America.

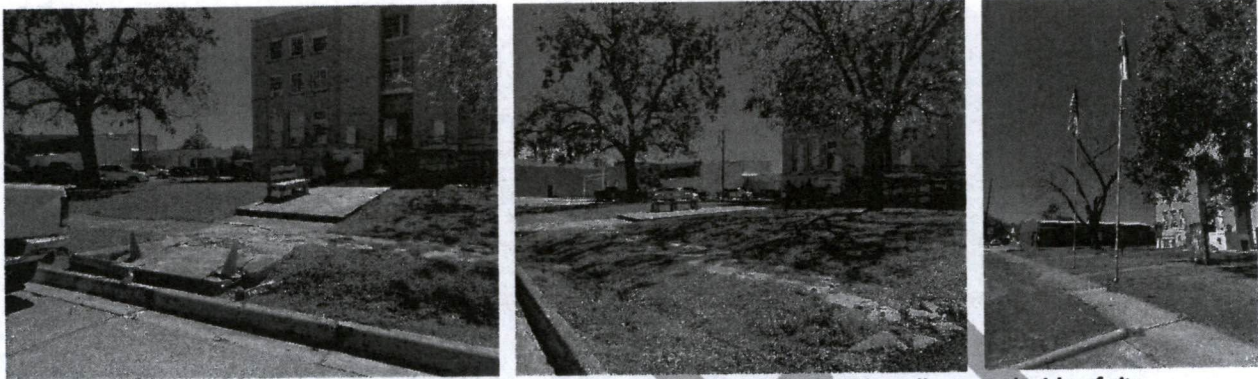


Historic Photo of Courthouse, circa 1948 - 1950s.



Sidewalks, Hardscaping, and Pedestrian Circulation

The existing sidewalks appear to be in their original locations as illustrated by the historic photographs. Their condition ranges from fair to severe. The sidewalks in the worst condition are at the north side of the site parallel to the street. The entire length of the sidewalk is cracked and deteriorated to the point that the grass is taking over the pavement. The County has placed cones to warn people from using the curb step.

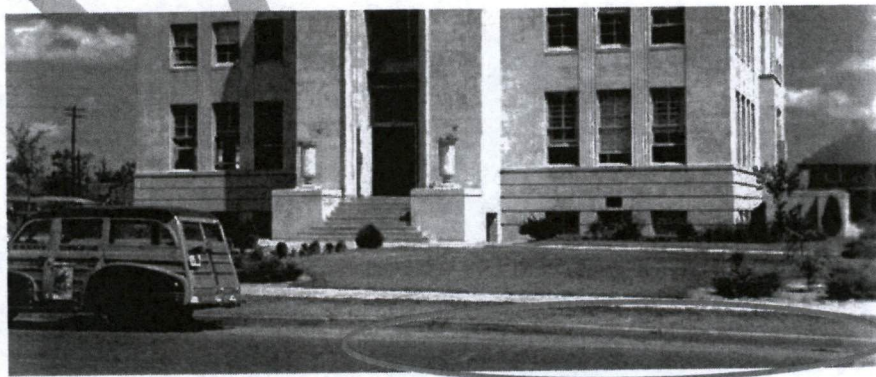


Left: Cones at north curb. Center: Example of severely deteriorated sidewalk at north side of site. Right: Fair condition sidewalk at south edge of site.

Parking and Vehicular Circulation

The primary parking area is located along NW 2nd Street. It is technically street parking, which makes it in the City's right-of-way. The parking spaces closest to the building are not striped. The paving is a mixture of asphalt, gravel, and concrete that is uneven and in severe condition. The accessible spaces are marked by signage; however, the spaces are not demarcated, and the paving does not meet TAS requirements. The County is currently working with the City of Cooper to replace the parking area paving.

One historic photograph from approximately 1941 shows brick pavers along W. Dallas Avenue. They are not visible today. If brick pavers are found in the parking area on W. Bonham or along the alley on the west side of the Courthouse, they should be preserved and/or reconstructed.



*The Courthouse soon after its completion, approx. 1941.
Courtesy of TXDOT via <http://www.254texascourthouses.net/190-delta-county.html>.*





Left: View of parking area from W. Bonham Avenue. Right: View of parking area from W. Dallas Avenue.

Site Drainage

The site has limited storm drains. One small grate is visible at the southeast corner at the intersection of N.W. Second Street and W. Dallas Avenue. It was covered with debris during the assessment. A small culvert runs under the sidewalk at the northeast corner of the site. The concrete is cracked, deteriorated, and in poor condition. The adjacent ditch is not sufficient. In general, the turf areas appear to drain away from the building. A civil engineer should confirm during construction document development. Standing water was visible in some of the areaways along the building's perimeter. The building's downspouts are internal. Lamb's tongues or curb outlets are not present, so the path of downspout drainage is unclear. Komatsu assumes the internal downspouts drain at a sub-grade sewer line. This should be confirmed in a later phase.



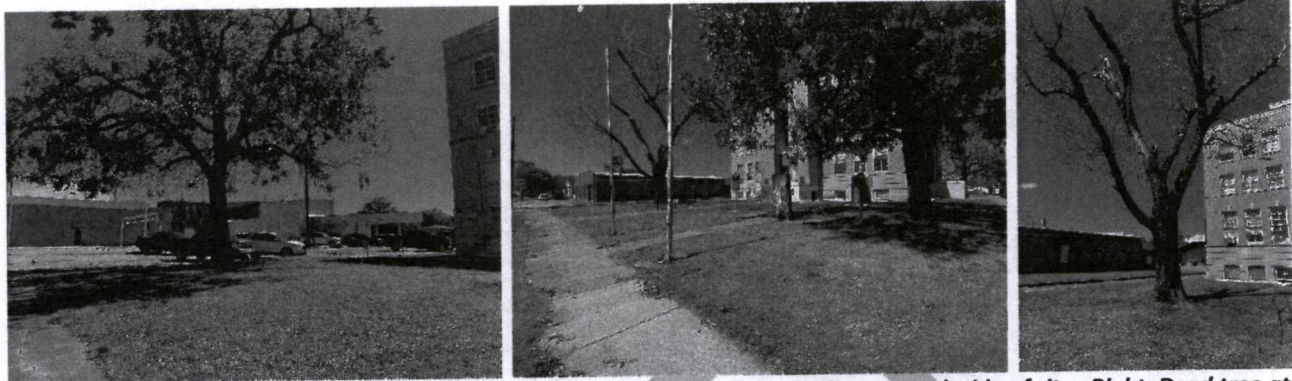
Left: Stormwater grate at southeast corner. Center: Culvert at northeast corner. Right: Example of standing water in areaway.

Vegetation / Landscaping

The vegetation at the Courthouse lawn was originally a combination of large swaths of grass between the major sidewalks and low shrubs / plants along the perimeter of the building and at the major sidewalk intersections. Small trees are also visible in the historic photographs at the center of each turf area. Today, all plantings have grown and matured. The trees are large and in varying condition. The



tree at the southwest corner of the site is dead. It should be removed. The stump of a previously removed tree is present at the southeast side of the site. The other major trees are in fair condition. The lawn is in fair condition. The shrubs and other plantings have been removed.



Left: Example of vegetation at north side of site. Center: Example of vegetation at south side of site. Right: Dead tree at southwest corner.

Lighting

Site lighting is nonexistent. No streetlamps or building mounted light fixtures are present within the perimeter of the Courthouse Square. Street lighting is present at the opposite side of each major street. However, the illumination from these fixtures is limited.



Left: Example of streetlighting on W. Dallas Avenue. Right: Example of streetlight at NW. Second Street.

Utilities

The utilities are dispersed throughout the site. A site survey verifying the location of the utilities has not been completed at this time. The HVAC system is not centralized. Mini split cassettes are present at several areaways and window units are located are present at each elevation. The electrical supply enters the building at the west elevation from overhead powerlines. Transformers appear to be pole mounted. County staff indicated that the main domestic water line enters the building at the west basement wall near the boiler room. The water meter and main shut off valve are located at the northeast side near the parking area. In the fall of 2023, a major leak at the main supply line occurred below grade. A portion of that line has been replaced, which is visible at the west alley. The water leaked into the soil below grade for an unknown length of time. This has caused the soil at the northwest portion of the site to be saturated. The County is actively monitoring the dryness of the

area. According to County staff, the building once had gas service, but with the removal of the boiler, the gas service was suspended and capped at the meter. The location and condition of the sewer line is unknown. DBR Engineering has reviewed the MEP systems and provided a conditions assessment report, which is attached as Appendix G.



Left: Example of mini split cassette at areaway and intrusive exterior conduit covering. Center: Overhead powerlines entering building at west elevation. Right: Exposed water supply at west elevation entering boiler room.



Left: Water main, note new PVC. Center: Saturated soil at northwest side of Square.

Trash Receptacles / Dumpsters

Dumpsters are not present on the site. The Delta County Law Enforcement Center is a neighboring building across W. Bonham Avenue with a dumpster. The Courthouse utilizes this dumpster for trash collection.

Flagpole

Originally, the Courthouse had flagpoles attached to the north and south elevations above the central vault openings. These flags were removed when the building was re clad in 1977/1978. There are currently two flagpoles adjacent to the southernmost sidewalk and they are in fair condition. They were erected as part of the United States Bicentennial celebration in 1975.



Left: Historic photo of courthouse from 1975 illustrating surface mounted flagpole. Note significant rust stains around the flagpole mount. Source: Historical Collection (U0663), University of North Texas Special Collections. Portal to Texas History. Right: View of current flagpoles at south lawn.

Site Monuments

Four monuments and markers are present at the southeast corner of the site. The markers and monuments were added throughout the Courthouse's lifespan, as is typical with a Courthouse Square. The historical markers honor Nathaniel L. Corbet and the Texas Livery Stable. The large stone monument honors local veterans. The small concrete marker at the corner of W. Second and W. Dallas is a survey marker for Texas State Highway 24 Business. The locations of each are marked on the Assessment Site Plan. In general, the monuments / markers are in good condition and can be maintained during a future restoration.

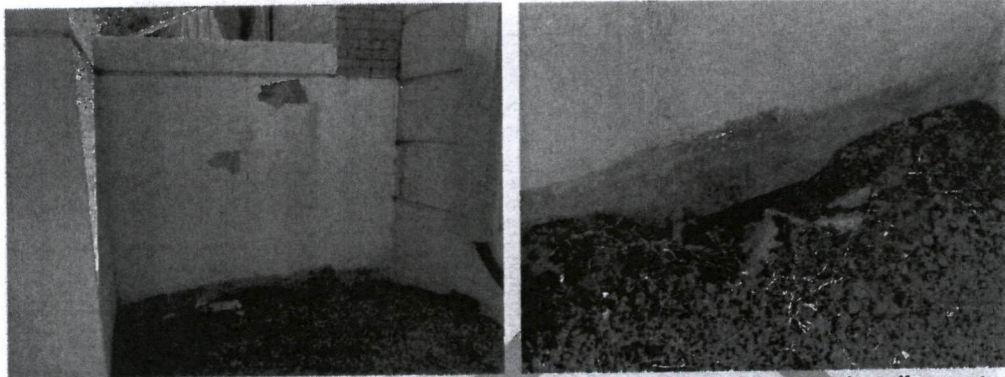


Left: VFW Memorial Dedication on south lawn, circa 1947. Source: Delta County Historical Commission. Center: Photo of extant historical markers and Veteran's Memorial at southeast side of lawn. Right: Texas State Highway Survey Marker.



Soil Shifting

Komatsu noted that the soil has settled around the perimeter of the building. This is noted by the paint line at the masonry. This condition was noted at all elevations but appeared to be the most severe at the east and north facades.

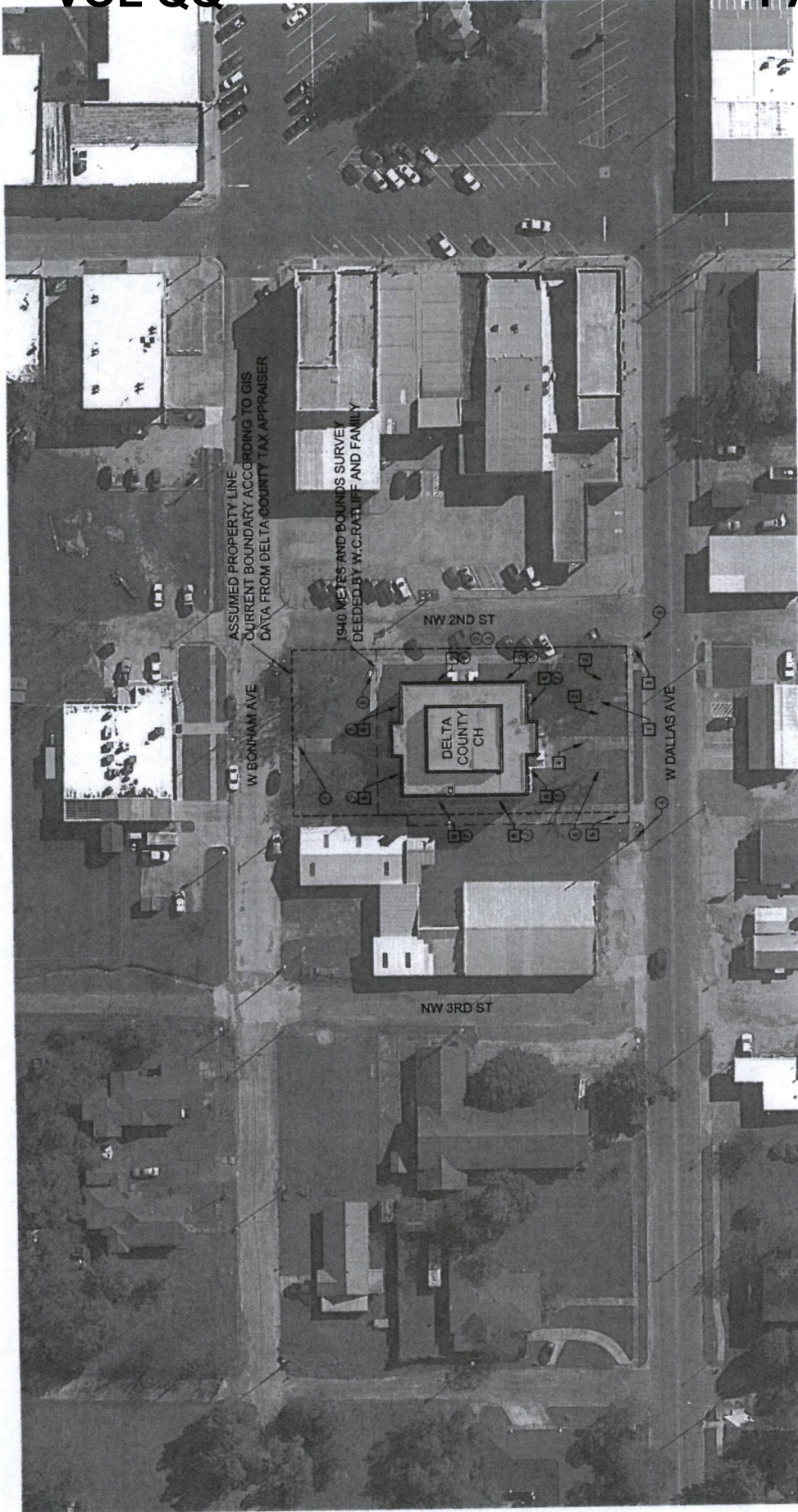


Left: Soil settling near east entrance. Right: Close up of paint line and void below porch wall at east entrance.

Archaeological Sensitive Area

The land on which the Courthouse sits has been occupied for many years. The County as a whole, was formerly Native American land for centuries prior to American settlement. The Courthouse was relocated from the central public square to the current site in 1940. Previously, the land was occupied by a hotel and a fire station in 1909 and a house occupied the southeast corner of the parcel in 1923. It has also been suggested that the Blackwell Livery Stable was on the site until 1915. Because of the previous uses, the Courthouse Square may contain archaeological materials. At this time, the site has not been investigated. Future construction work must be mindful of the possibility of archaeological resources and the County must notify the proper authorities if found. More information is available on the Texas Historical Commission website - <https://www.thc.texas.gov/preserve/projects-and-programs/regional-archeology>.





GENERAL NOTES

THE NOTES ON THIS PAGE WERE INFORMED BY THE 1938 AND 1971 DRAWINGS, AS WELL AS OBSERVATIONS MADE DURING THE ASSESSMENT SITE VISIT BY KOMATSU ARCHITECTURE IN JUNE OF 2023.

A TOPOGRAPHICAL SURVEY WILL BE REQUIRED FOR CONSTRUCTION DOCUMENT DEVELOPMENT.

HISTORICAL NOTES BY SYMBOL (#)

1. VETERANS OF FOREIGN WARS MEMORIAL, ERECTED 1947
2. TEXAS STATE HISTORICAL MARKER
3. HISTORICAL TEXAS STATE HIGHWAY SURVEY MARKER
4. HISTORIC SIDEWALKS IN ORIGINAL LAYOUT
5. ALLEY ON WEST SIDE OF SITE
6. ORIGINAL AREAWAYS

DEFICIENCY NOTES BY SYMBOL (#)

1. DETERIORATED SIDEWALK, TYP.
2. PARKING LACKS STRIPES AND CORRECT DESIGNATION OF ACCESSIBLE SPACES
3. PARKING LOT PAVING IS VERY DETERIORATED
4. INADEQUATE SITE LIGHTING
5. INADEQUATE SITE DRAINAGE, TYP.
6. DEAD TREE
7. AREAWAYS WITH DEFICIENT DRAINAGE
8. INTRUSIVE WATER BACK FLOW VALVE

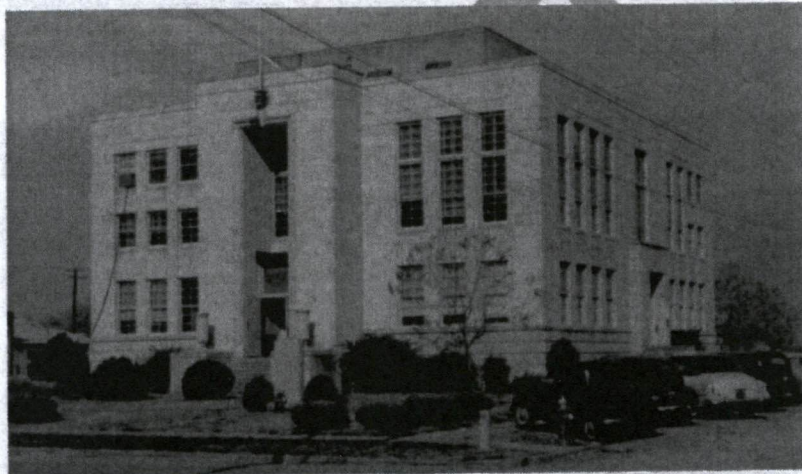
ASSESSMENT SITE PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



Exterior Conditions

As noted in "Chapter 2. Historical and Architectural Development", construction was completed on the Courthouse in 1942. The original masonry was a large format cast stone veneer with carved cast stone accents around the vault openings and cornice line. According to the National Park Service Preservation Brief #42, "cast stone was just one name given to various concrete mixtures that employ molded shapes, decorative aggregates, and masonry pigments to simulate natural stone."³⁸ The base of the building was poured-in-place cast stone with horizontal bands that mimic masonry coursing. In 1977/78, the original masonry cladding above the base was removed in full and was replaced with a buff brick in a running bond with cast stone decorative elements to include belt courses, windowsills, keystones, and cornice. The overall mass of the building was not altered, however, the replacement cladding greatly changed the Courthouse's architectural style.



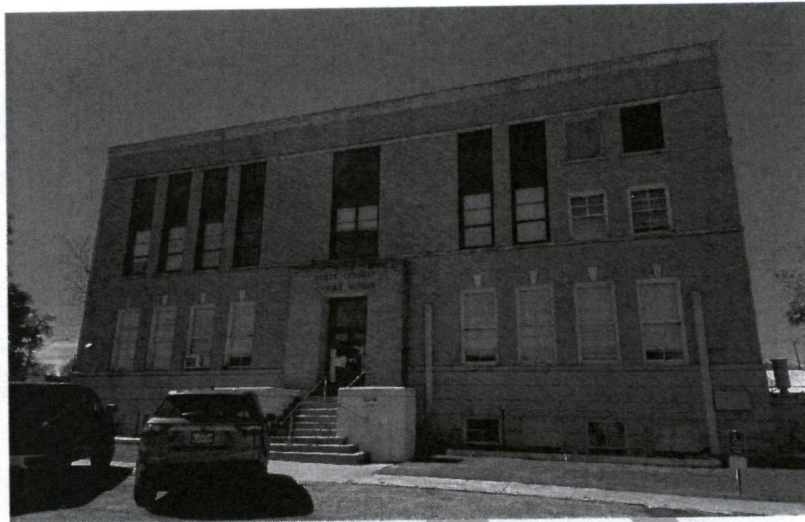
Historic Photo of Courthouse illustrating original limestone cladding, circa 1948-1950.



South Elevation

³⁸ <https://www.nps.gov/orgs/1739/upload/preservation-brief-42-cast-stone.pdf>





East Elevation



North Elevation

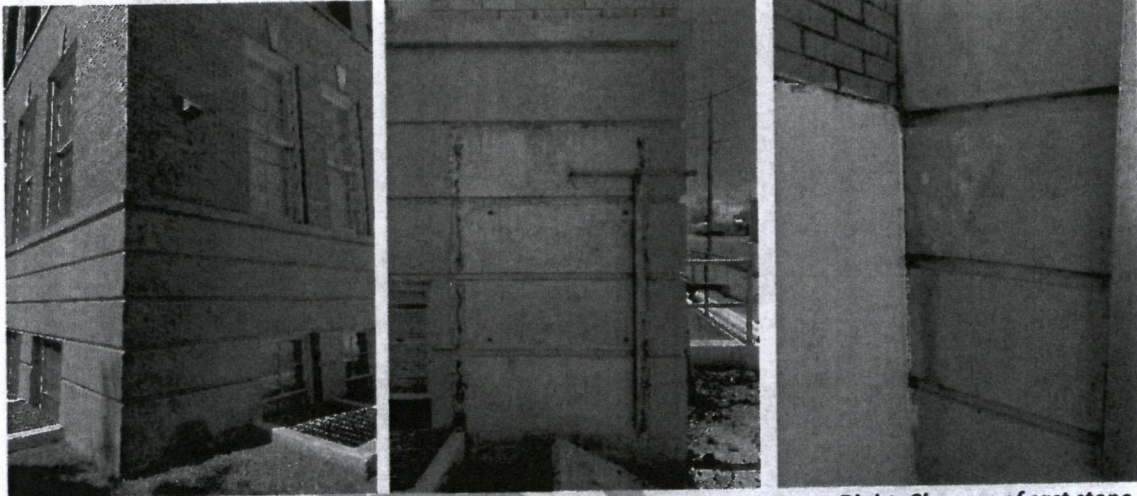


West Elevation



Masonry

Today, the exterior of the building is comprised of two primary masonry types, cast stone and brick. The base of the building appears to be poured-in-place cast stone with horizontal bands in relief. The cast stone has been coated several times. The newest layer is a medium tan in the same color range as the brick above. The tan is faded across all facades and peeling in localized areas. At the northwest corner of the base, the tan coating was never applied, and a green coating is present. The green coating is also visible in a historic photo from the 1970s prior to the exterior cladding replacement. It is unclear if the original design intent called for a paint coating, although it is possible that a pigment was used in the concrete mixture. Further investigation by a finishes conservator is required to determine the original cast stone color and finish. The paint coating is in poor condition. The cast stone itself is in fair condition.

Cast Stone Base

Left: Example of tan cast stone base. Center: Green coating at northwest corner. Right: Close up of cast stone with failing coatings.



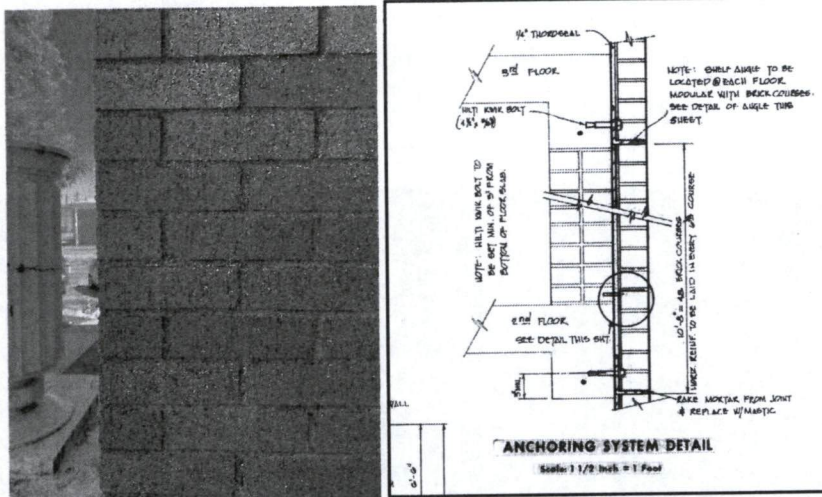
Left: Example of failing paint and biological growth at cast stone sill below deteriorated window. Right: Clip of 1975 photograph showing cast stone base painted green.

The brick is in fair to good condition. The surface is smooth and uniform. Staining, biological growth, and other defects do not appear to plague the brick at the south, east, and west facades. Slight staining is visible at the north elevation. Biological growth is also prevalent at mortar joints throughout the north façade. In general, the mortar joints are intact and in fair condition at all façades. The most

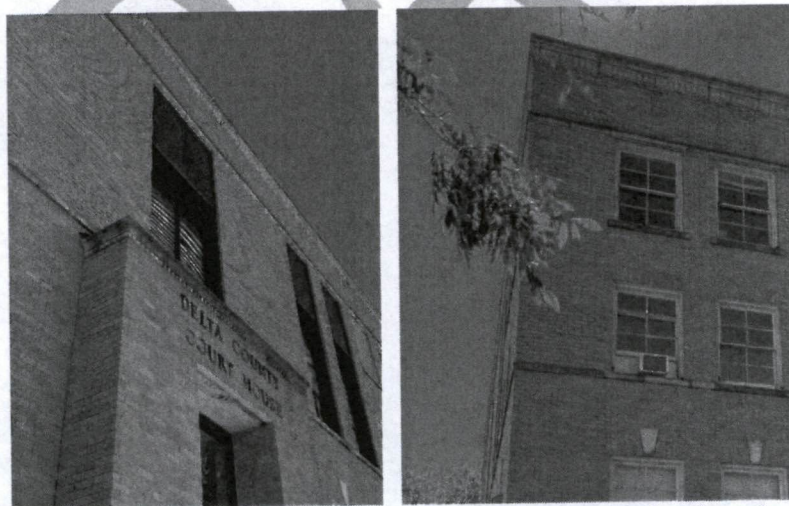


significant deficiency at the brick is where HVAC conduits have been surface-mounted and penetrated the façade. This mechanical damage will require repair upon restoration. The condition of the masonry anchoring should be explored in more detail through exploratory demolition. Based on the 1970s drawings, the brick is a veneer held up by steel angles. The detail calls for “Thoroseal” water proofing, but a drying cavity and weep holes are not present. By modern standards, this system does not allow for drying and could potentially cause corrosion at the steel members.

Brick and Cast Stone Elements



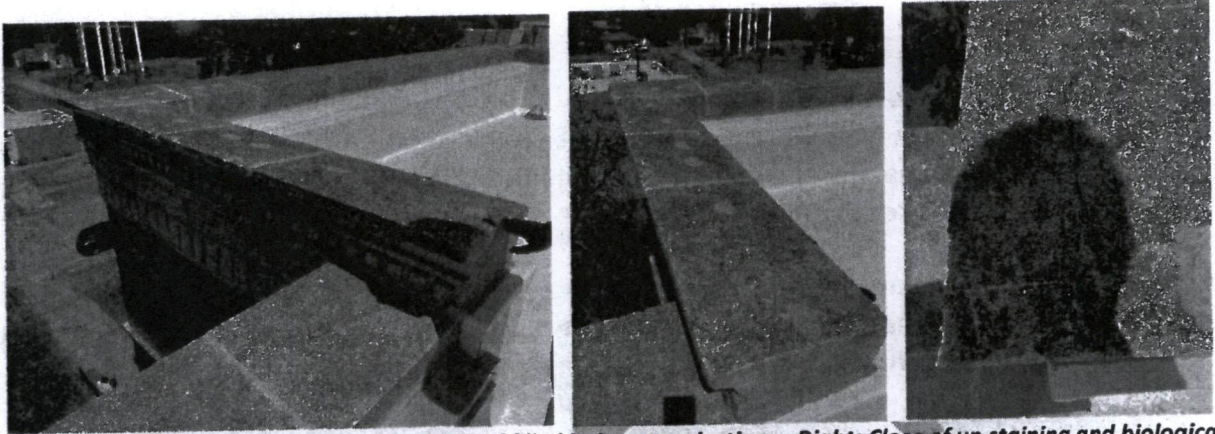
Left: Example of brick condition at north elevation. Right: 1978 Anchoring Detail



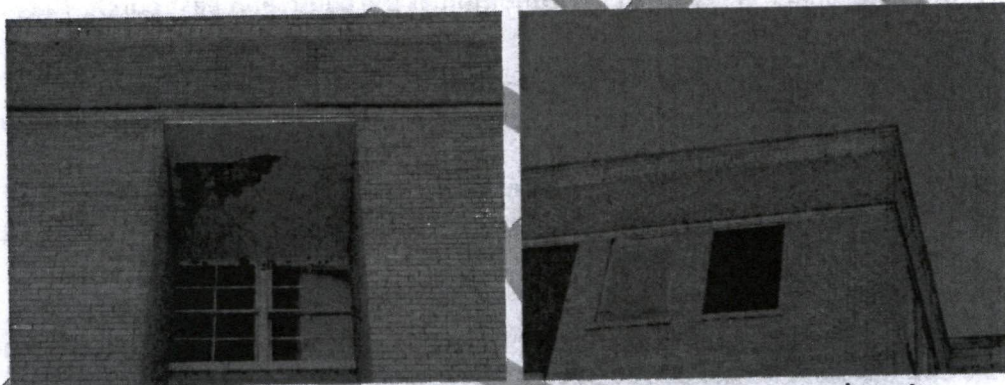
Left: View of cast stone details at east elevation. Right: View of cast stone details at the north elevation.

The Cast Stone Decorative Elements include a belt course below the second-floor windows, a second belt course above the third-floor windows, windowsills, keystones above the first-floor windows, and the cornice. The masonry units are intact, and most mortar joints appear intact. Dark staining and biological growth are present at each element type and at all facades typically at the skyward edge. This is expected for cast stone of this age and is typically caused by pollution in the atmosphere and/or the humid climate. These deficiencies are the most severe at the north elevation and above the east

entrance. Mechanical breakage is also visible along the skyward edge of the cornice line. This deficiency is minimal and is typically caused by hail or other precipitation. In general, the cast stone elements are in fair condition.



Left: View of cornice from roof. Center: View of holes at projections. Right: Close up staining and biological growth at cornice skyward surface.



Left: Paint peeling at north vault soffit. Right: Staining at cast stone elements.



Left: Mini split view with visible condensate drip. Center: Example of HVAC conduit covers at west elevation. Right: Example of window unit with visible condensate drip.

The cornice was reviewed from the roof level as well. All mortar joints have been filled with intrusive caulk. At the north and south projections, evenly spaced holes have also been filled with caulk. The cause of these holes is unknown. The masonry soffit at the north and south entrances have been painted. At the north vault, the paint is severely peeling.

Porches / Raised Entrances

All entrances are raised above grade. The east entrance is the current public entrance as it is directly adjacent to the parking area. Doors that lead directly to the basement can be accessed below the north and south entrances but are typically locked.

An intrusive cementitious coating has been applied to the risers and treads of the east and south stairs with a faux wood appearance. Older photos show a deteriorated tile finish that appears to have been removed. The original finish was brushed concrete.

All cheek walls are board-formed concrete that has been painted. Like the cast stone base of the building, it is unclear if the original design intent included a coating or pigmentation for the concrete. The concrete steps and cheek walls are in fair condition at the south and east porch. The north entrance has significant cracking and spalls. It is in poor condition. A major crack extends from the level of the steps up the northeast cheek wall and through the concrete planter. The paint coating is in severe condition at the north porch. Biological growth is present where the paint has peeled off.

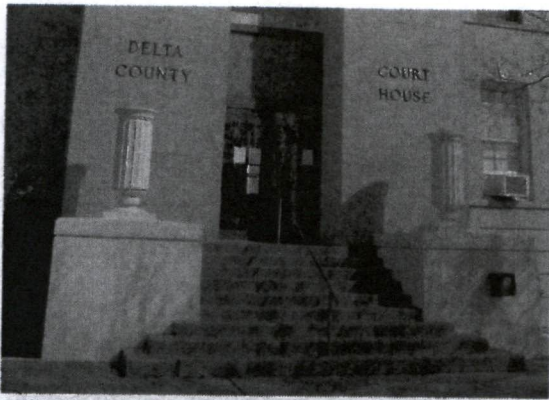
The north and south entrances have concrete planters on either side. The south facing planters are in fair condition. Cracks that have been coated over are visible. The north facing planters are in poor condition due to significant cracking.

The west entrance is simpler in design. The concrete steps are stained from general use. The cheek wall is painted and the paint is flaking. The handrails are all uncoated galvanized pipe steel. They do not appear to meet current TAS requirements. The fasteners are corroded and rusting. The west entrance porch elements are in poor to fair condition.



Left: South Entry Porch. Right: West Entrance.





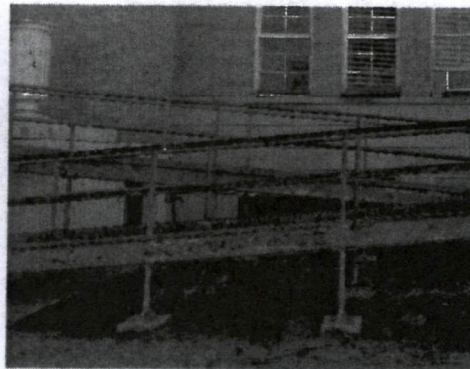
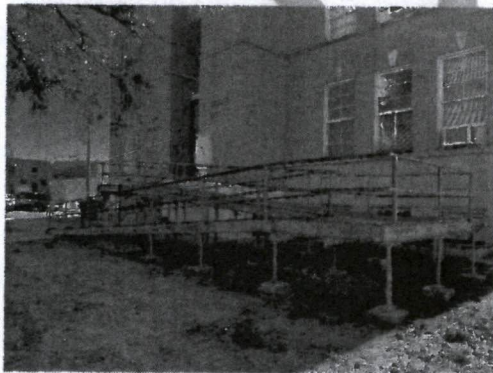
Left: View of deteriorated tile at steps that has been removed. Date unknown. Center: View of current intrusive cementitious coating at the east entrance. Right: Historic photograph of Courthouse steps showing brushed concrete finish.



Left: Peeling paint and cracking at the northeast cheek wall. Center: Northeast planter with significant cracking. Right: View of cracked and spalling concrete at the north steps with white efflorescence.

Accessible Ramp

An accessible ramp has been added to the north entrance. It is metal construction on isolated concrete footings. The paint coating has failed. Rust and corrosion are visible at all metal connections and joints. The walking surface is grated. Overall, the ramp appears to be unstable and in poor condition. It does not appear to meet TAS requirements completely. The clear space between the top of the ramp and the entry door is insufficient.



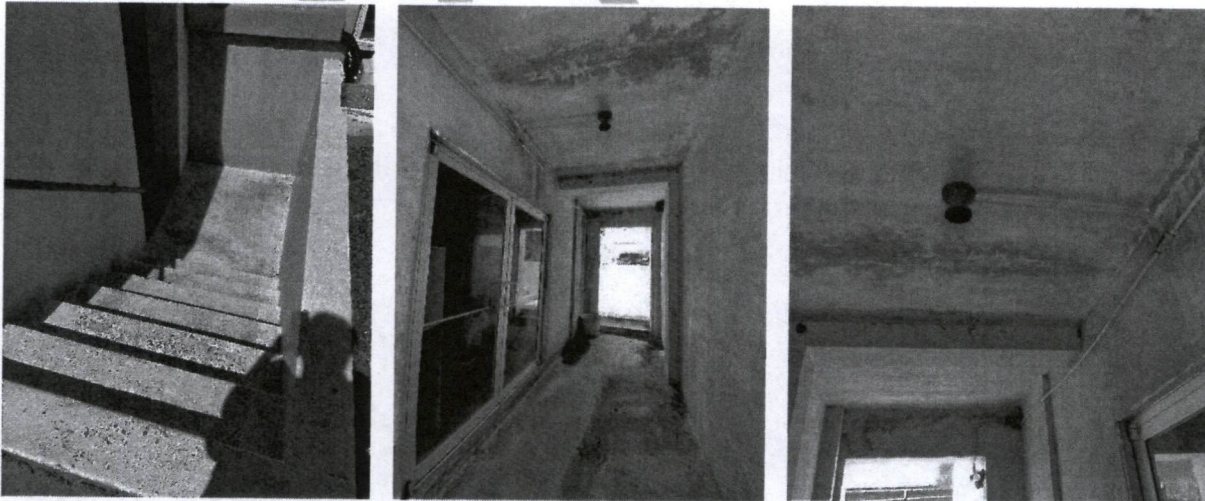
Left: View of the accessible ramp at the north entrance. Center: Close up of deteriorated finish at ramp. Right: Example of ramp walking surface.

Basement Entrances

Basement entrances exist below the north and south porches. They are not regularly used and are typically locked, as most of the basement is storage. The concrete portions are in fair condition. However, severe water stains are present at the concrete floor deck above. All concrete surfaces are stained and worn. Debris is visible at the floor drain. A surface mounted light fixture is present at each vestibule. The fitter is rusted and corroded and in severe condition. The light bulb is missing at the south entrance. The double doors are aluminum frames with a full height pane of glass. They are in fair condition. Their locking mechanisms, however, are in poor condition.



Left: Basement stairs at northeast side. Center: Severe paint peeling at porch wall adjacent to basement stair. Right: View of north basement vestibule.

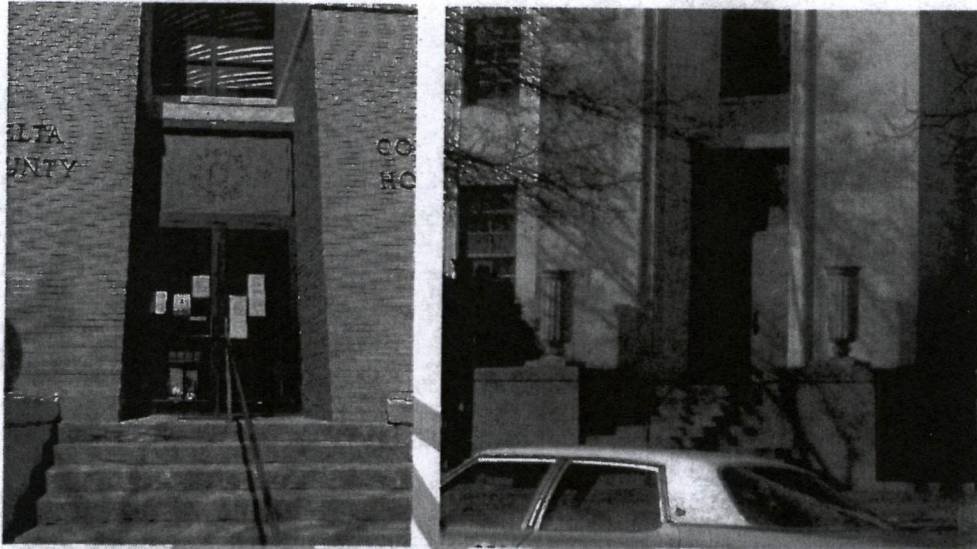


Left: Basement stairs on the southeast side. Center: View of south basement vestibule. Right: Example of rusted light fitter.

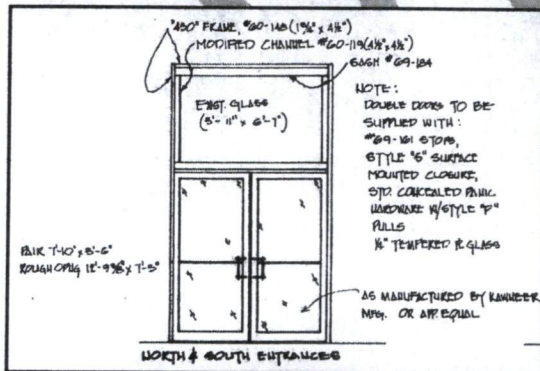
Doors

All entry doors were replaced during the 1977 exterior renovation. The original doors were solid metal or wood with three decorative circles in a vertical pattern and a large transom window above. The

replacement doors have the same proportions but are a dark bronze colored aluminum with full height glass panes and a large transom window with the County seal etched into it at the north, south, and east doors. The replacement doors are in fair to good condition; however, they removed a significant Art Deco character defining feature of the original courthouse design. The masonry lintel at the east entrance is in severe condition. Cracks have turned into spalls and there is a loss of material. The west facing door is a single hollow metal door with a small vision panel. The finish is worn, and rust is visible. The door is in poor condition.



Left: Example of replacement doors at south entrance. Right: View of original solid doors.

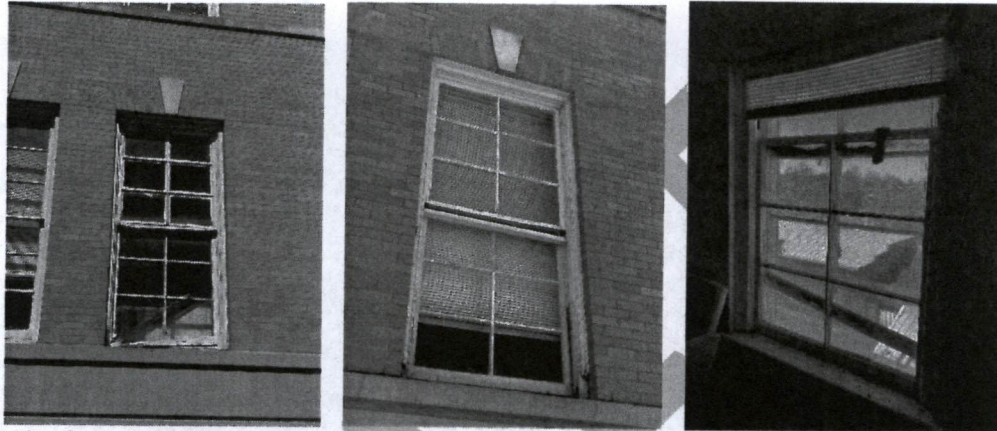


Left: Clip of construction documents from 1977 exterior renovation. Right: View of deteriorated lintel at east door.

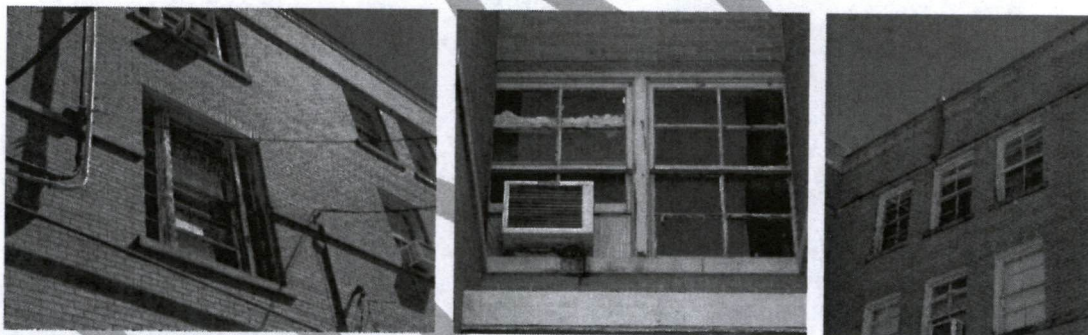
Windows

A majority of the original wood windows remain intact throughout the building. They range from poor to severe condition. The most common deficiencies are rotten bottom rails and stiles. Some rot was visible at meeting rails as well. Improper repairs with plexiglass to cover holes and caulk to infill missing glazing putty have also been implemented. HVAC window units and other modifications for conduit and piping which comprise the integrity of the windows are present at several windows. Window repairs should be prioritized as their severe condition allows regular moisture intrusion. Several wood

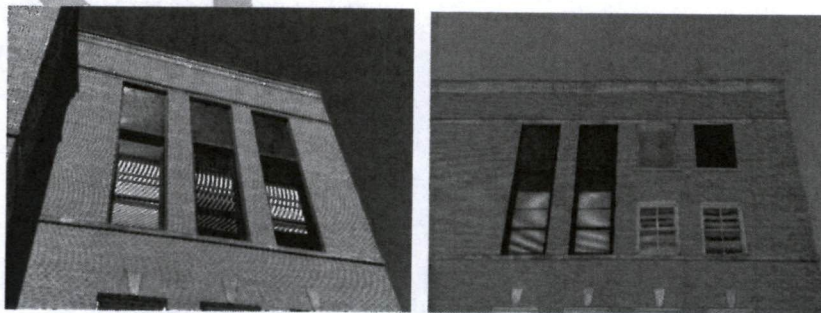
windows are either missing or covered over at the east side of the third floor. All window openings at the original jail / fourth floor have been completely covered and stuccoed over at the exterior. The triple height windows at the District Courtroom, which face south and east, were replaced in 1988 with dark bronze colored aluminum versions. The original windows appear to be stored in the basement. The aluminum replacements are in fair condition. However, the highest sashes have been covered with intrusive paneling.



Left: Example of wood window in severe condition at south elevation. Center: Example of wood window in severe condition at north elevation. Right: Example of wood window in severe condition from third floor interior.



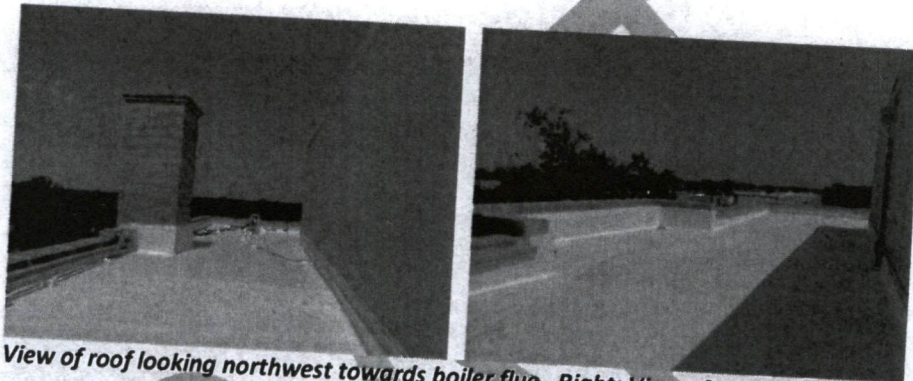
Left: Wood window in severe condition above west door. Center: Example of intrusive window unit. Right: Wood windows in severe condition with intrusive HVAC modifications.



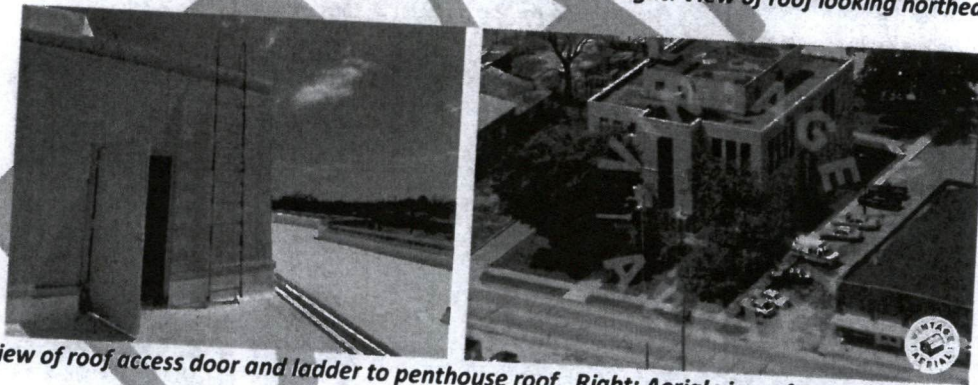
Left: Example of replacement windows at south elevation. Right: Example of replacement windows and missing windows at east elevation.

Roof and Drainage

The roof was recently replaced as a self-funded emergency repair by the County in August 2023. The new roof material is a fully adhered Carlisle 80 mil TPO Roof Assembly per the 2023 bid documents. Poor drainage and standing water have plagued the Courthouse for many years. The black and white image below is from 1990 and large areas of ponding water are visible. Ponding water such as this can add a significant amount of weight which can damage the underlying structure. Komatsu was not able to inspect the concrete roof deck from above prior to the replacement, but cracks and other deterioration are visible at the roof deck from the third floor. A structural engineer must review to confirm the structural integrity. Only two roof drains exist, one at each of the north and south facing projections. The flat roof is crickets towards the drain. Overflow drains and/or scuppers are not present.



Left: View of roof looking northwest towards boiler flue. Right: View of roof looking northeast.



Left: View of roof access door and ladder to penthouse roof. Right: Aerial view of Courthouse, circa 1990.

Lighting

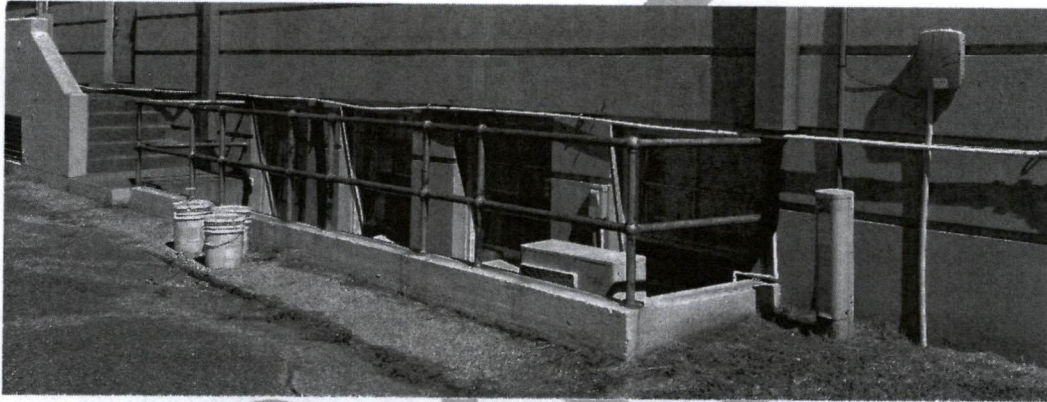
Exterior lighting does not exist at any of the building elevations and entrances. This results in a dark approach and an unsafe environment for pedestrians and County staff.



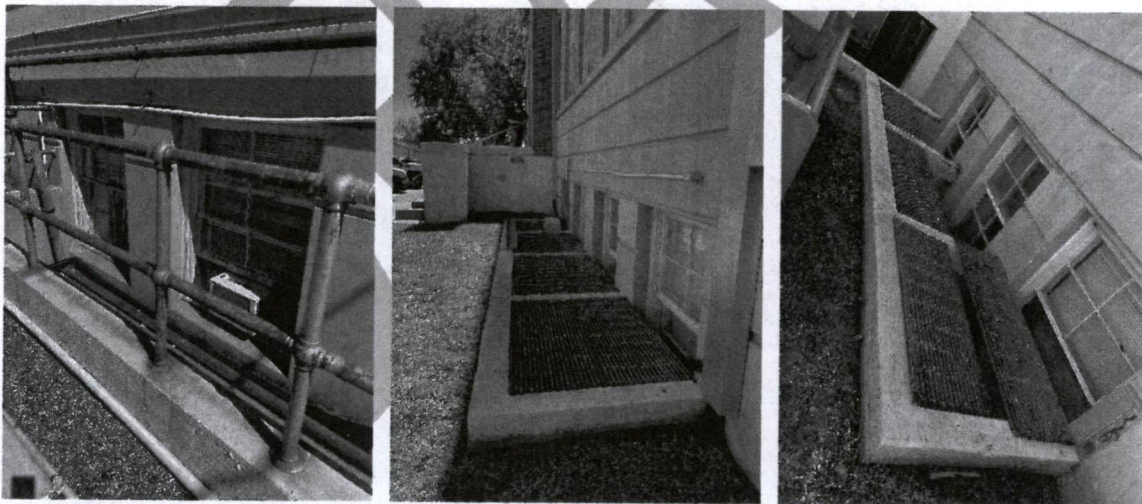
Areaways

Areaways are present on each side of the building to provide natural light into the basement. The concrete has been painted. Metal grates have been added to the north, east, and south areaways. Rust is present at all grates. Some grates have been removed to allow for mini split cassettes. Standing water is visible in the southern areaways.

At the west elevation, pipe guide rails are present. Their detail and materiality align with the Courthouse's construction date. They are in poor condition as their coating has worn away and rust and corrosion are present throughout. In general, the areaways are in poor to fair condition. The drains should be scoped to review their condition.

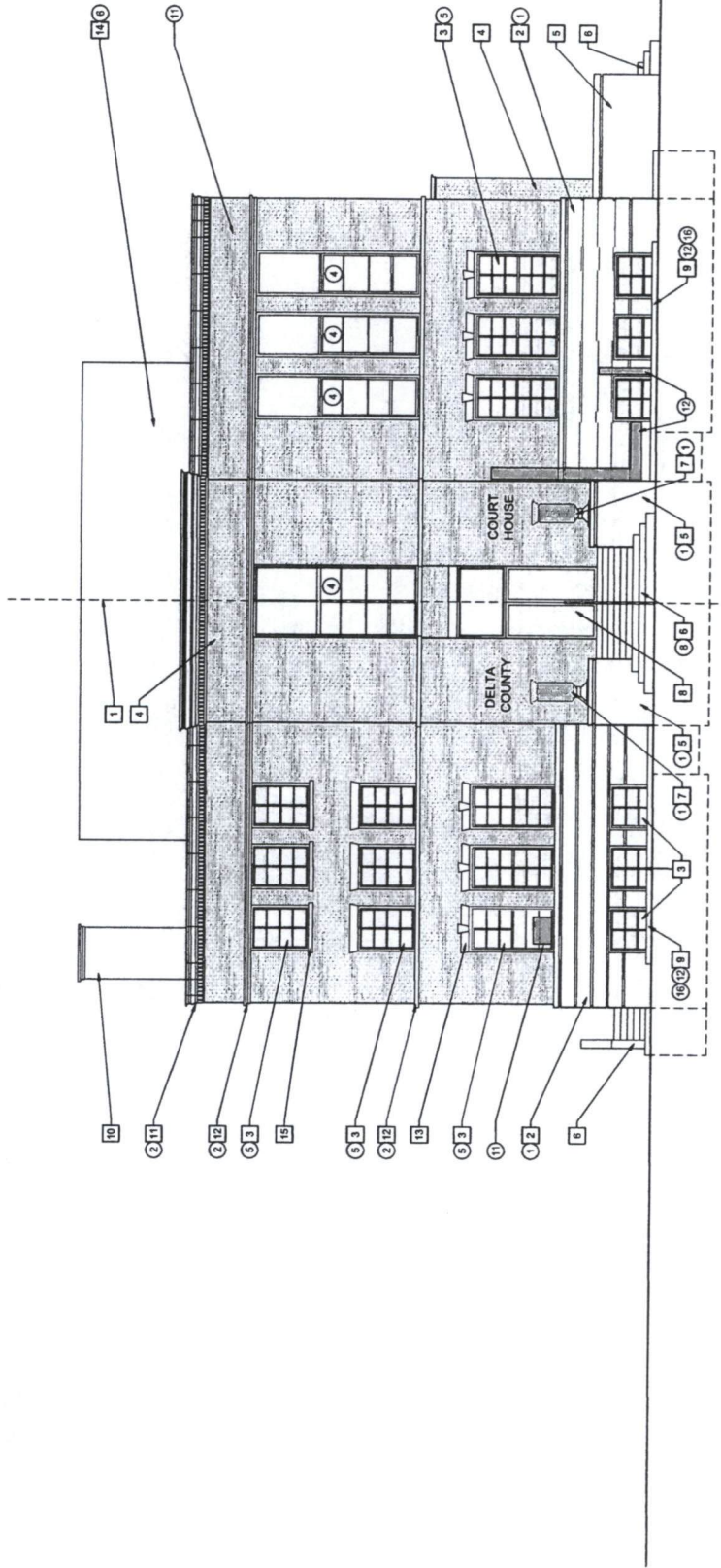


Extant pipe railing at west facing areaway.



Left: Closeup view of corrosion and rust at pipe railing. Center: View of east side areaway. Right: View of north side areaway.





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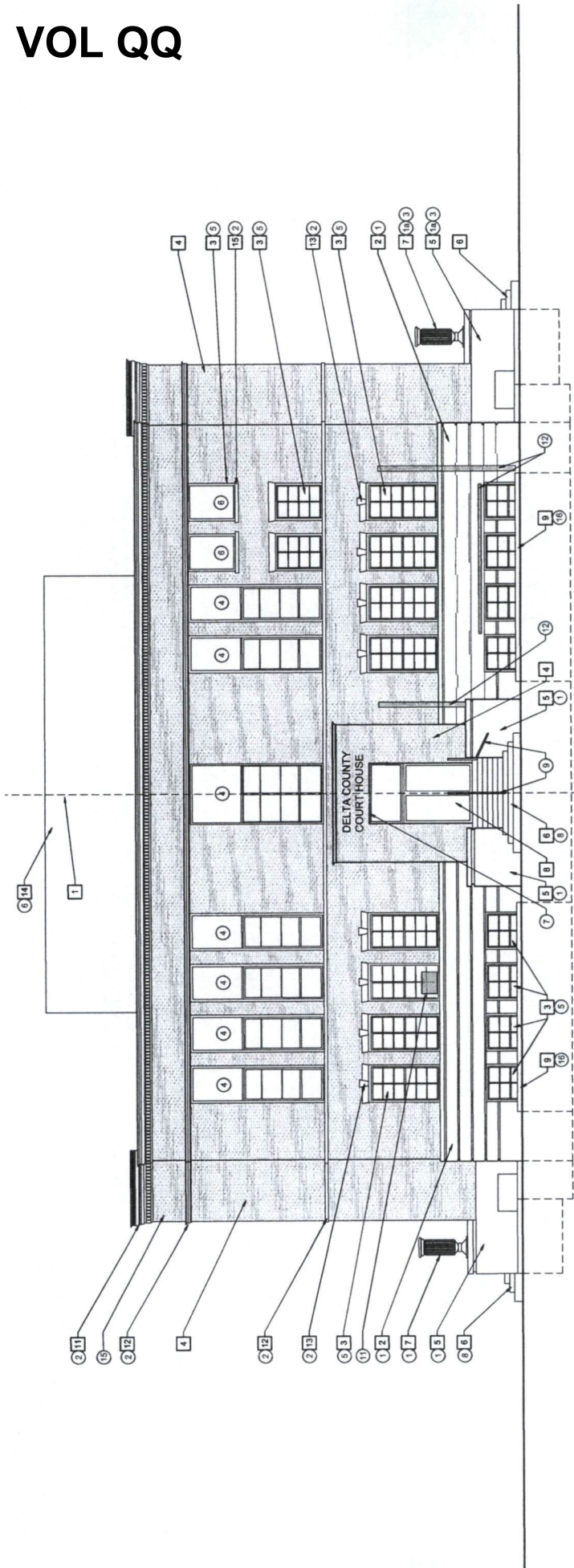
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 3. MULTILITE HUNG WOOD WINDOWS, TYP.
 4. EXTRUDED VAULT AT ENTRANCE
 5. CAST-IN-PLACE CONCRETE CHEEK WALLS
 6. ELEVATED CONCRETE PORCH WITH STAIRS
 7. FLUTED CAST STONE PLANTERS
 8. DOUBLE DOOR WITH TRANSOM WINDOW
 9. BASEMENT LIGHT WELLS
 10. FLUE
 11. CAST STONE CORNICE
 12. CAST STONE BELT COURSE
 13. DECORATIVE BRICK LINTEL W/ CAST STONE KEYSTONE
 14. JAIL PENTHOUSE
 15. CAST STONE SILL, TYP.

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 - b. PEELING PAINT AT SOFFIT
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 5. DETERIORATED WOOD WINDOW, TYP.
 6. INFILLED OR COVERED WINDOW
 7. DETERIORATED MASONRY LINTEL
 8. INTRUSIVE COATING AT CONCRETE STEPS
 9. NON-ADA COMPLIANT HANDRAIL
 - a. NO HANDRAIL

10. INTRUSIVE, DETERIORATED METAL RAMP
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SOUTH ASSESSMENT ELEVATION
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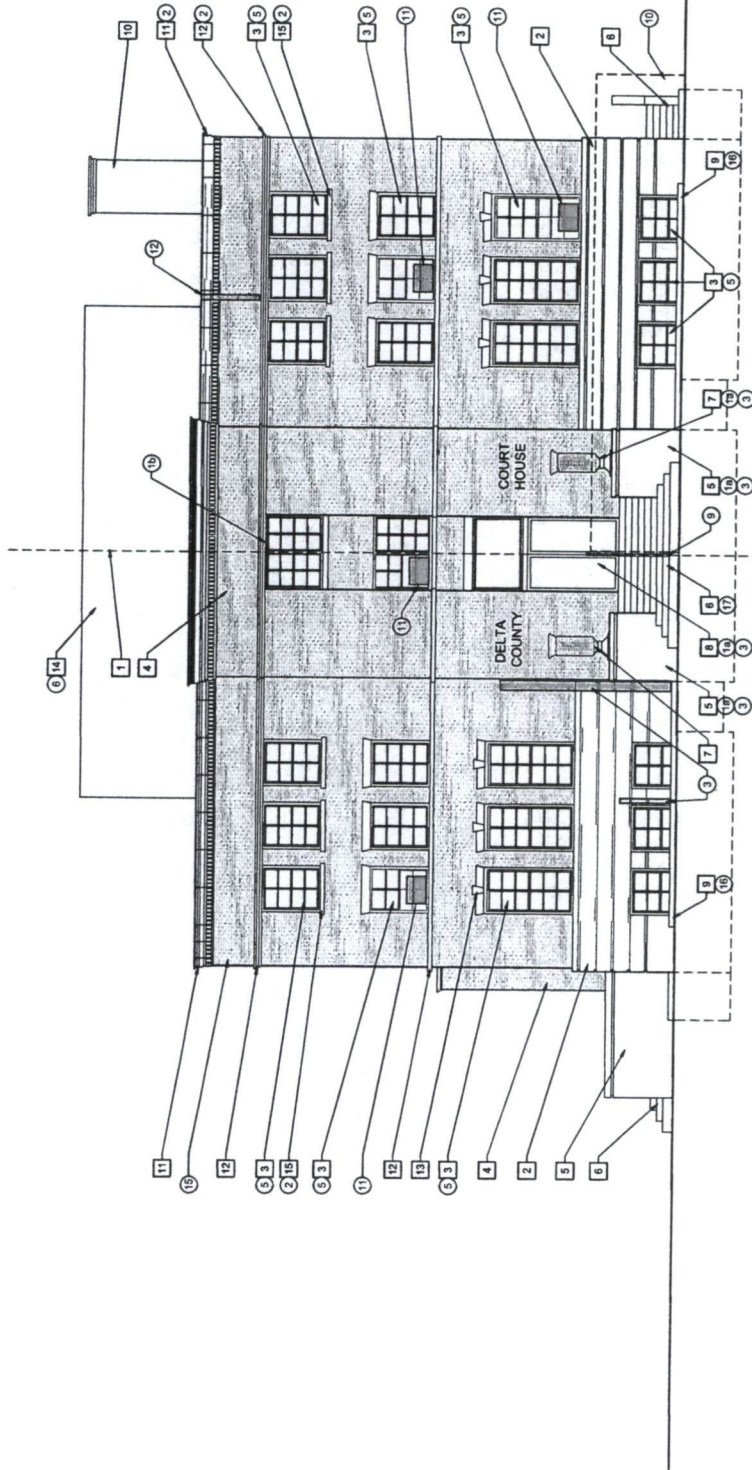
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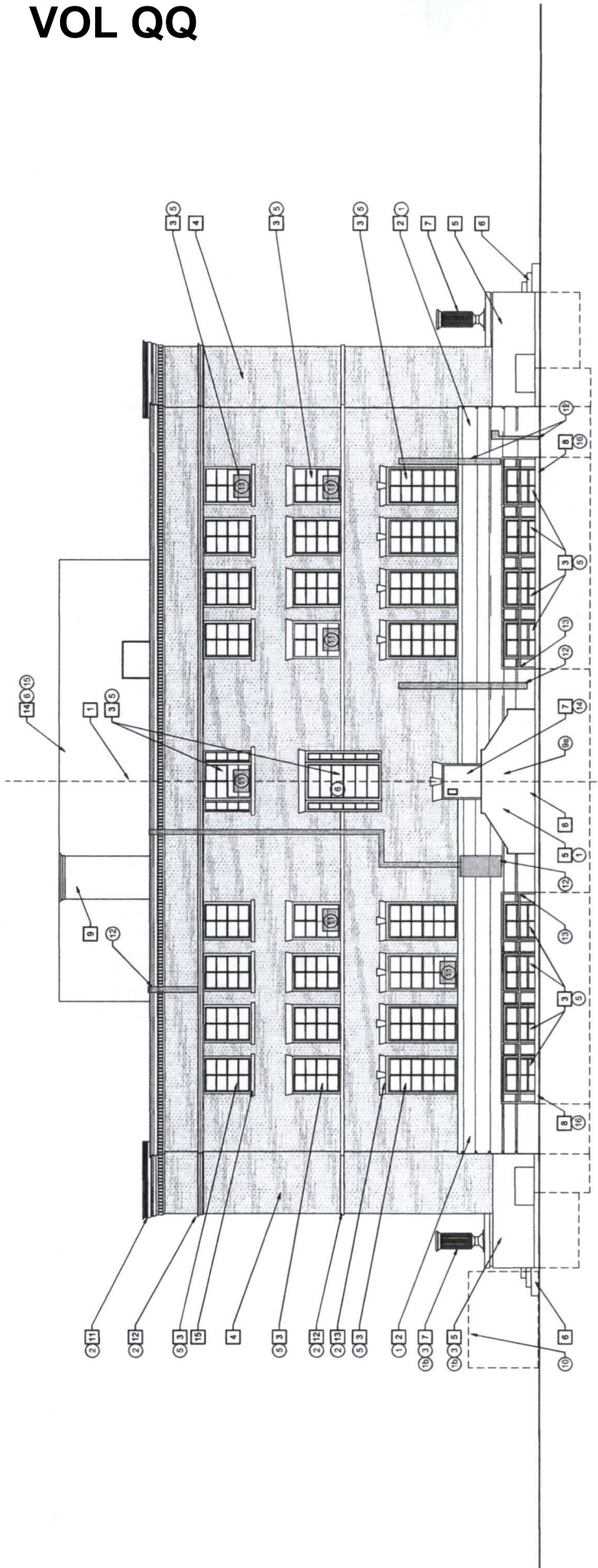
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WEST ASSESSMENT ELEVATION

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Interior Conditions

The interior of the courthouse retains much of its 1942 historic materials and architectural elements. The 1978 construction drawings for the exterior renovation do not include any modifications to the interior, except for reworking of the electrical supply, which mostly occurs at the exterior of the Courthouse. The following sections discuss the conditions of the primary and second spaces and provide an overview of the character defining materials and features. Evaluation floor plans with deficiency notes are included at the end of this section.

The earliest drawings for the Courthouse in the County's records are undated. The basement plan includes the note "From the office of Hoke Smith", therefore, Komatsu assumes these are the earliest drawings available. Only floor plans are included. The floor plans are not noted, and additional details are not included, which is unusual for New Deal funded projects. Other Courthouses from the same era have very detailed construction drawings, so it is possible that this was a "working" set and not the final version. For this section of the report, these drawings will be referred to as the "Hoke Smith" or "original" floor plans. The full set is included at the end of Chapter 2.

It is also important to note that the space plan illustrated in the Hoke Smith drawings does not appear to be exactly what was constructed. For instance, the cruciform first floor corridor and layout of the District Courtroom at the second-floor match from plan to physical construction. However, the first-floor office layouts, vault locations, and main staircase orientation differ. Komatsu has reviewed the plans and compared them with physical evidence throughout the Courthouse to determine what may be historic fabric. This physical evidence includes features like solid masonry partition walls versus hollow framed walls, locations of doors with period correct door type, wood trim, and hardware that show no sign of relocation, review of the first-floor corridor walls and wainscot for evidence of concealed openings, etc. Based on this comparison, Komatsu assumes that the floor plans provided were not the final version and/or changes were made during construction. Komatsu does not believe that Courthouse has been heavily modified to create this difference. This is also substantiated by the Commissioners Court minutes and Modifications Timeline found in Chapter 2.

First Floor Corridor

The first-floor corridor is laid out in a cruciform shape that aligns with the entry doors in each cardinal direction. The corridor's appearance and finish materials are characteristic of the early 1940s. The existing floor finish is polished concrete. Prior to the start of this assessment, the County removed a severely deteriorated tile finish and several paint coatings down to bare concrete and added a new clear coat. The tile was buckling, which caused a trip hazard at the entrances. Komatsu did not observe the floor tile in person, but the tile visible in photographs appears to be intrusive by size and color. It is unclear if the concrete was the original finish. The original floor plans do not provide much detail, however, a floor tile hatch pattern is visible. The concrete coloring is uneven, but overall, the floor is in fair condition.

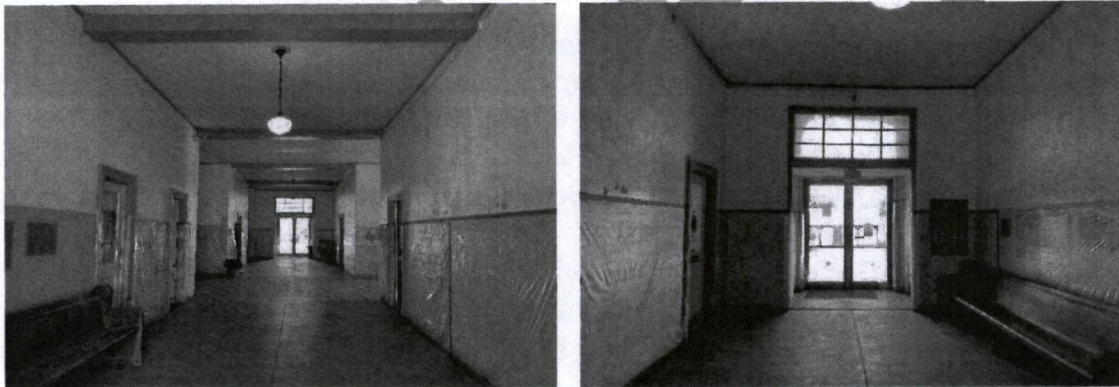
All walls have a cream tile wainscot (covered by plastic for paint prep in the images below) with plaster above and crown molding. Both finishes are in good to fair condition. A thin crown molding, possibly picture rail, wraps the corridor walls at the ceiling juncture. The ceiling is suspended plaster with



exposed beams. Some patching is visible at the east to west oriented ceiling. Intrusive wire mold is also present where cameras have been added. In general, the ceiling is in good condition. During the development of this report, the County undertook a painting project at the central corridor walls and ceiling under the advisement of the THC.



Photos of corridor floor tile that has been removed. Courtesy of Randall Scott Architects.



*Left: Central Corridor looking north. Right: Central Corridor looking south
Note: plastic covering wainscot was for active paint project.*

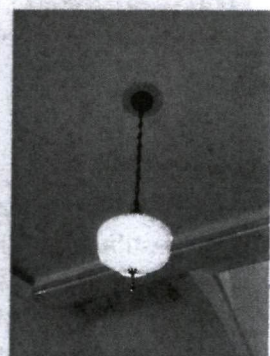
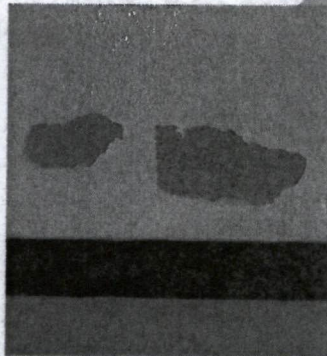
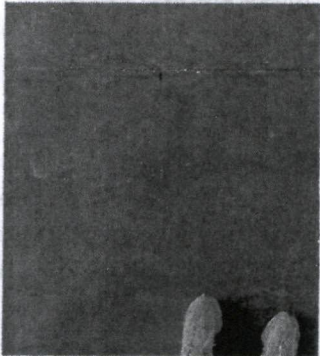
At the west wing of the corridor, the main public staircase is located on the right side of the space. In the original drawings, the stairs were mirrored to be on the left side of the space. There is no evidence that the stairs have been modified, therefore, Komatsu assumes this change was made during design or construction. At the left side of the west wing, an elevator has been added. This project was undertaken by the County in 1985 with an extension to the fourth floor in 1996. The elevator space was carved out of the Tax Assessor's office, so the volume of the corridor is unaltered. The elevator door is differentiated but compatible.

Four schoolhouse globe pendant light fixtures exist at the first-floor corridor. These appear to be original and in good condition. The County has currently received funding to upgrade these fixtures to an LED light source while maintaining the historic appearance.





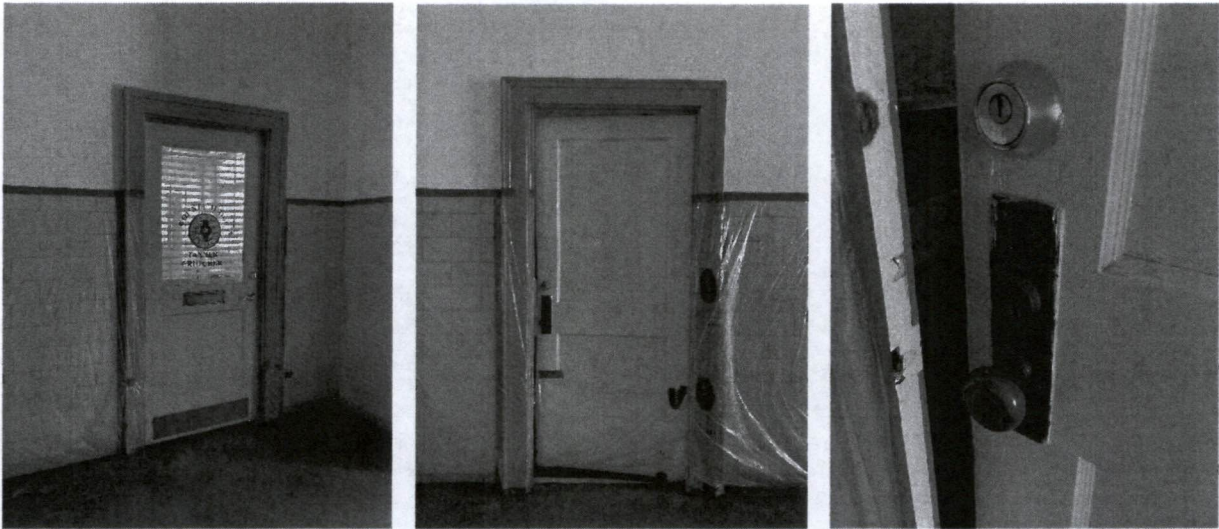
Left: Central Corridor looking northeast. Right: Central Corridor looking west towards main staircase on right and elevator door on left. Note: plastic covering wainscot was for active paint project.



Left: Example of current concrete floor condition. Left Center: Sanded plaster texture revealed behind layers of paint. Right Center: New light green paint color and view of tile wainscot uncovered. Right: Example of original light fixture at corridor.

Original wood office doors remain throughout the corridor along with their decorative trim work. Most have been modified with new handles and locks. All office doors have a glass pane at the upper half of the door leaf. All office signage appears to be contemporary. The doors range in fair to good shape. The hardware condition ranges from poor to fair.



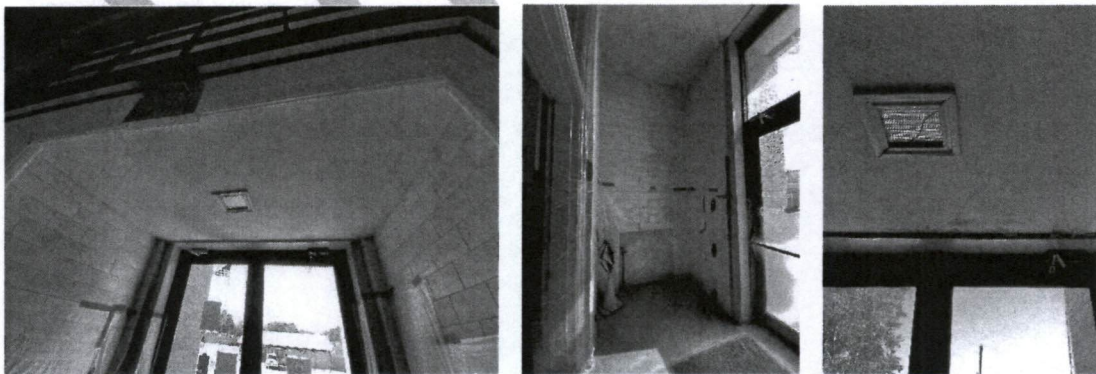


Left: Example of office door with glass. Center: Example of solid door at storage. Right: Example of original door knob and decorative face plate.

Vestibules

The north, south, and east vestibules are identical in design. The tile wainscot at corridor is extended into the vestibule at full height. The tile is in good condition. Recessed areas are located on either side of the doors that appear to have originally housed radiators. The radiator unit has been removed, but the piping remains in place. The interior doors have been removed due to limited space at the vestibule which conflicts with the "doors in a series" TAS requirement. The wood frames and transom are intact and in good condition.

The north vestibule is in the worst condition. A major crack extends the length of the recessed light fixture and surrounding wood frame. The door lintel appears to be bowing. Water damage is visible at the adjacent plaster. This deterioration aligns with the exterior cracking and settlement related deficiencies seen at the exterior north porch.

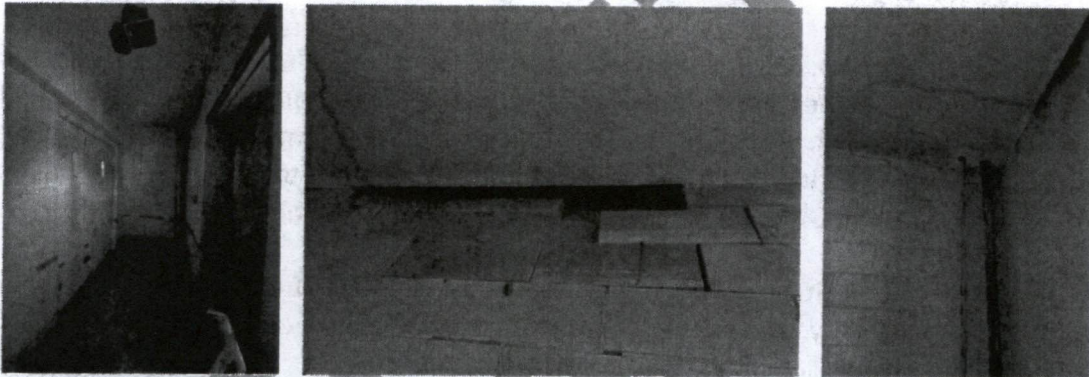


Left: Example of vestibule ceiling. Center: Example of vestibule wall with tile wainscot and radiator recess. Right: Close up view of north vestibule ceiling with crack in light fixture and damage at door lintel.

West Vestibule

The west vestibule was designed as a secondary entrance. A single door is present at the exterior, which was replaced during the 1977 exterior renovation. The interior doors are wood with small vision lights at eye level with double action hinges. The exterior door is in poor condition. The interior doors are in fair condition.

Like the other vestibules, the west vestibule has a concrete floor with tile at the walls that extends full height. A large hole is present in the tile at the west wall where tiles have separated from the substrate. The adjacent tile is loose, and a water stain is visible at the ceiling nearby. This area of the vestibule is in severe condition. The remainder of the tile walls is in fair condition. The ceiling is suspended plaster. The recessed light fixture is missing. The plaster surrounding the fixture has been removed revealing metal mesh lathe. Overall, the ceiling is in poor condition.



Left: View of west vestibule looking south. Center: Loose tile. Right: Water stain at ceiling with intrusive piping.

Central Stairs

The Central Stairs only extend from the first floor to the second floor. Upper and lower floors are accessed from secondary staircases. The Central Stairs are cast-in-place concrete with a painted coating. The same tile wainscot wraps both sides of the stair and ends at the second-floor landing. Most of the deficiencies are the stairs are superficial. The paint coating is worn. The adhesive edge grips are peeling off. Minor hairline cracks are visible, which is typical of this type of concrete due to shrinkage from initial drying. The most significant deficiency is that the handrails do not meet current TAS requirements.



Left: Central Stair at first floor. Center: Central Stair at intermediate landing. Right: Central Stair looking towards second floor.



District Courtroom

The District Courtroom occupies the same footprint as illustrated in the original floor plans. The County Historical Commission indicated that at one point, the District Courtroom was rearranged so that the Judge's Bench occupied the south wall of the courtroom. This is indicated by a shadow line at the south and southeast walls where a platform once sat. However, the Judge's Bench currently resides in what is believed to be the original location as it lines up with the Jury Room and Judge's Chamber doors. The original floor plan also indicates this layout.

The extant floors are vinyl tile. Its age is unknown, but it is in fairly good shape. Tiles are missing at locations where radiator pipes once existed. The walls have a tall wood wainscot with plaster above. The wood wainscot ranges in fair to severe condition. Generally, the wainscot is faded and dehydrated. Around the windows, the wood has become brittle. Cracking and loss of material is typically at each window. The plaster appears to have intrusive coatings but is in fair condition.

The most significant deficiency in the District Courtroom was a major leak over the Judge's Bench area. This area is directly below the roof leak that has affected the third floor. The leak has caused damage at the suspended grid ceiling, as well as the Judge's Bench and platform it sits on. The original plaster ceiling is visible above the grid ceiling. Water damage was visible, but the overall condition of the original ceiling is unknown. Other leaks are visible at other acoustical tiles throughout the space.

The original Courtroom furniture is extant. In general, each piece exhibits general wear and tear from use. However, several gallery benches are severely worn and the veneer is failing. The veneer at the Judge's Bench and platform is also cracking and peeling from water damage. The County noted acoustics issues in the room. Road noise is prevalent at the south wall. The numerous solid surfaces throughout the space cause significant noise reflection.



District Courtroom looking north towards Judge's Bench.



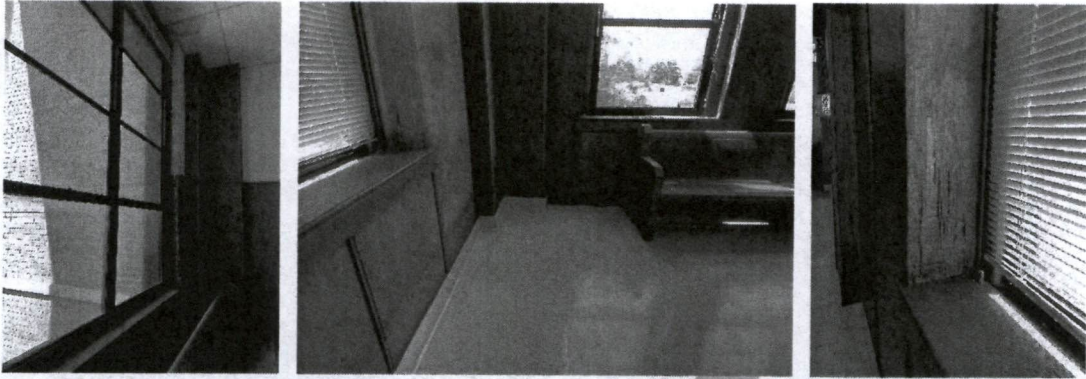


District Courtroom looking south.

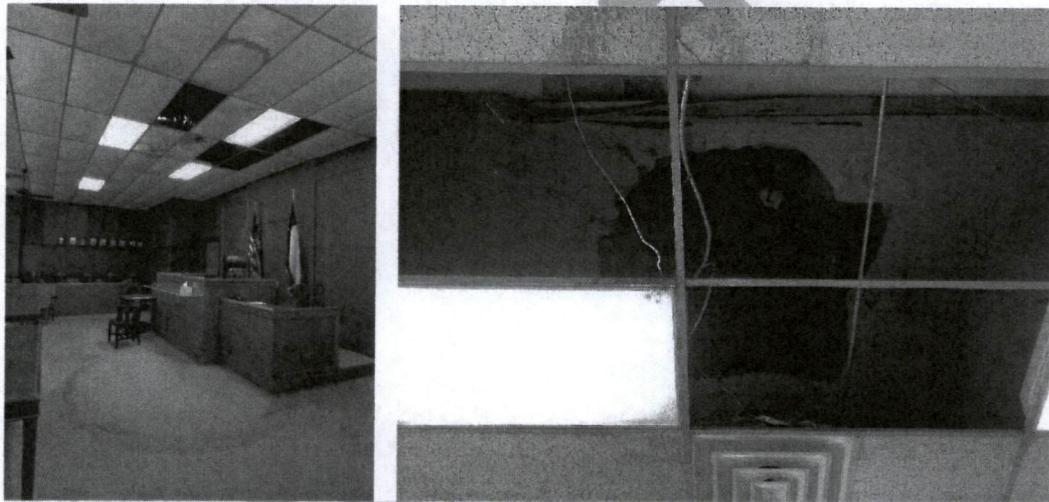


District Courtroom looking east.

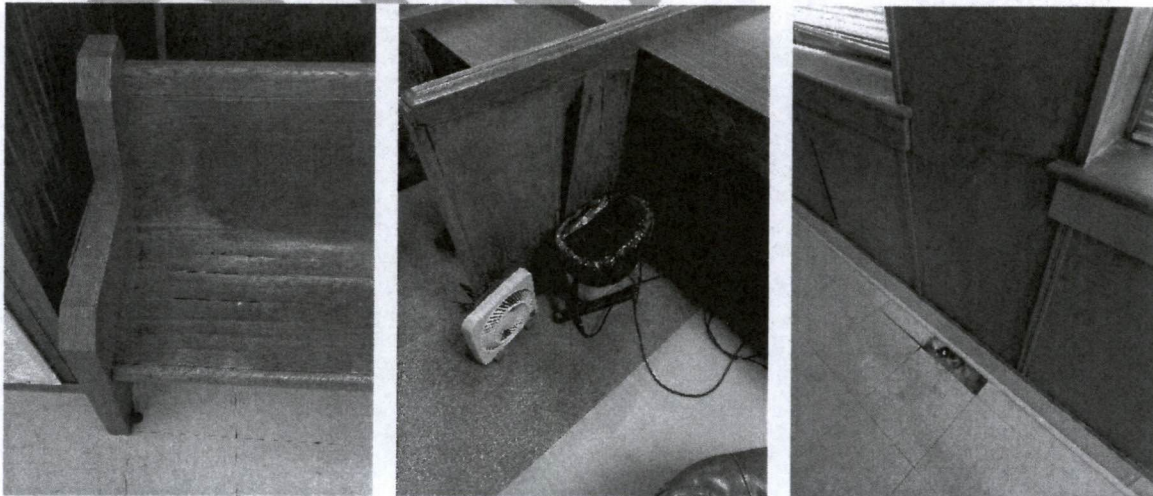




Left: Example of replacement windows at District Courtroom. Center: Example of platform shadow at southeast corner. Right: example of severe veneer failure at window.



Left: Water damage at Judge's Bench. Right: View of plaster ceiling damage above grid ceiling.



Left: Example of veneer damage at gallery bench. Center: View of veneer damage at Judge's Bench. Right: Example of missing floor tile at remove radiator pipe.

County Courtroom

The 1940s floor plans do not include a full County Courtroom, just a small meeting space labeled as County Commissioners at the first floor. At some point, the third-floor jury dormitory was partially converted into a County Courtroom space. The Courtroom is accessible by the elevator; however, only secondary stairs can access this space. Both stairs are too narrow to support an Assembly occupancy.

The County Courtroom has been the most affected by the severe condition of the roof and ongoing roof leaks. The floor is exposed concrete with several paint coatings. The concrete is in fair condition; however, the coatings are in poor to severe condition. Water leaks have compromised the plaster walls at the east and north walls. Contemporary paint coatings are peeling, revealing early paint layers. The plaster is spalling and damaged in several locations. The ceiling is suspended plaster. The roof leak has caused a major plaster spall directly over the Commissioners Court Dias. The metal lathe is rusted and corroded. Metal rebar is also visible at the concrete elements, and it appears rusted as well. The ceiling structure changes at the central beam line that runs east to west across the middle of the roof. The northern portion appears to be a two-way waffle slab, while the southern portion is a one-way slab with cast in place beams. Several major cracks are visible in the concrete roof deck, most likely due to the weight of the water that sat on the roof.

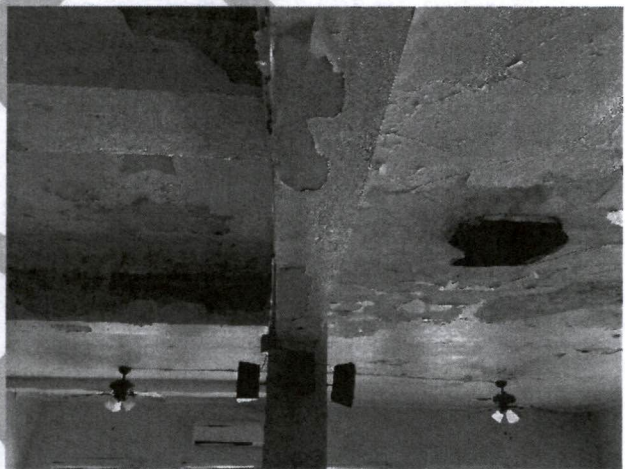
Mini split HVAC units have been added to the west and north walls. The Commissioners Court Dias is a complete loss. The roof leaks has caused severe water damage at all sides of the Dias.



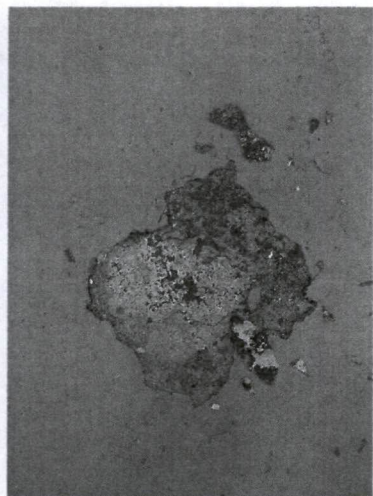
Left: View of County Courtroom looking north. Right: View of County Courtroom looking west.



Left: View of County Courtroom looking south. Right: View of County Courtroom looking east.



Left: Close up view of damaged plaster ceiling and concrete roof deck. Right: View of central beam with differing roof structures at either side.



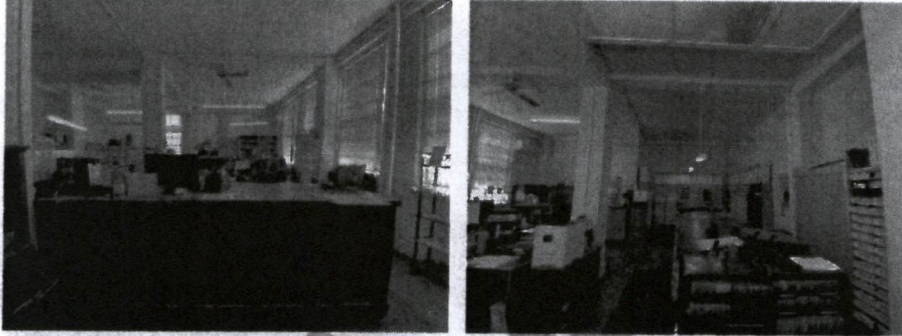
Left: Close up of original paint layers behind spalled contemporary layers. Center: View of water damage at Dias and concrete floor. Right: Close up of paint layers at concrete floor.



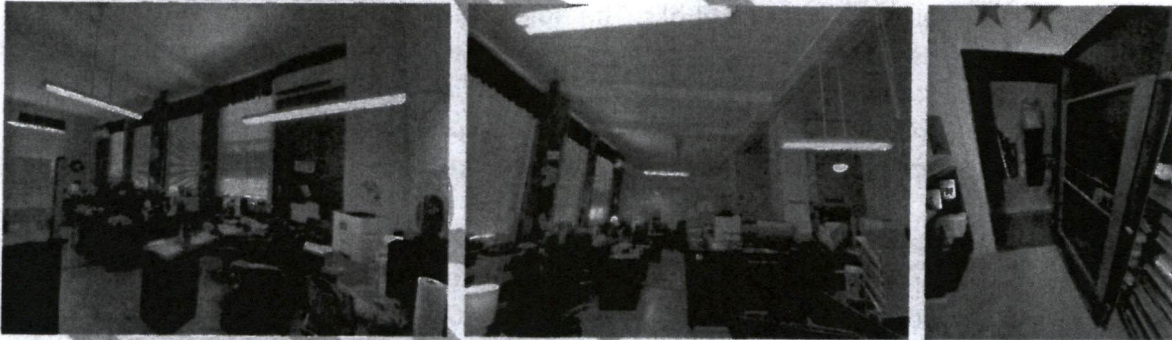
Offices

Most offices have received alterations and modifications by their elected officials through the years. The major finishes are intact. The floors are concrete with several intrusive paint coatings. The main walls are plaster and all exposed structural elements are covered in a plaster coating. The ceilings are suspended plaster between plaster coated beams. All extant features and materials exhibit general wear and are in fair condition with some localized areas in poor condition. Most light fixtures have been replaced. The images below illustrate the conditions at several office spaces.

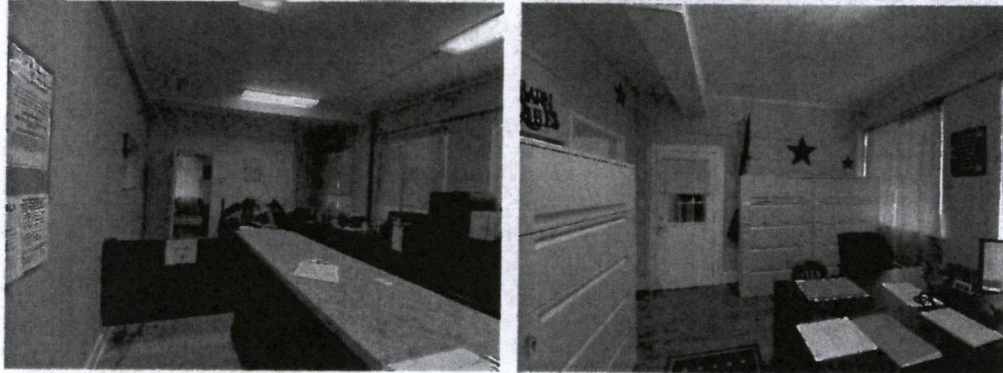
County / District Clerk's Office



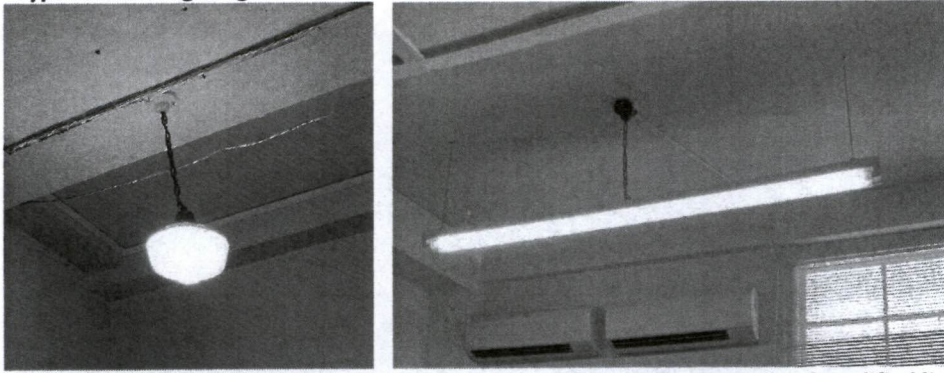
Tax Assessor & Collector's Office



Justice of the Peace's Office



Typical Office Lighting



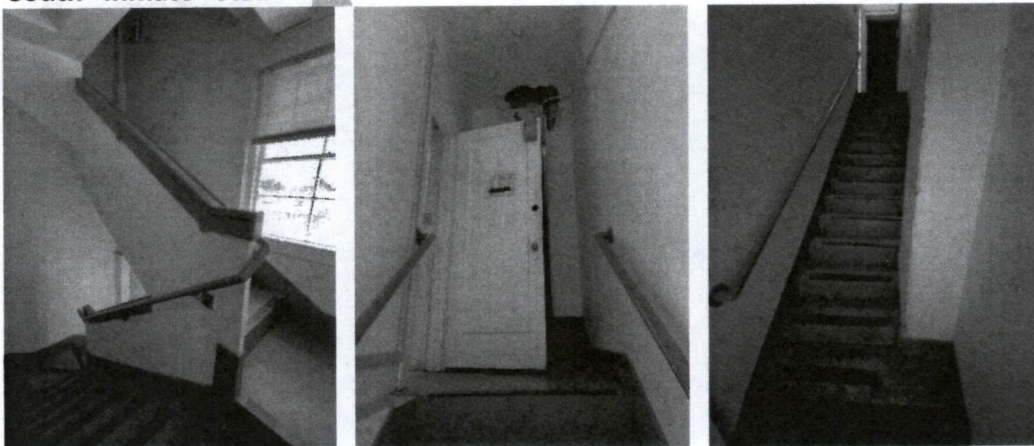
Left: Example of original schoolhouse fixture in Tax Assessor's office. Right: Example of modified light fixture at County/District Clerk's office with original escutcheon plate and chain with contemporary fluorescent tube bulbs.

Secondary Stairs

Two additional stairs exist in the Courthouse beyond the main staircase, including the South "Inmate" Stair and North Stair. The South Stair connects the basement to the fourth-floor penthouse, which was the former jail. A landing and access point are not present on the first floor. The intent of this stair design is assumed to allow movement of inmates from the basement up to the District Courtroom and jail without directly interacting with the public. The North Stair only connects the basement and the first floor. Both stairs are cast-in-place concrete with a paint coating finish. They are also enclosed with masonry partition walls. Adhesive grip edges have been applied to the surface of each tread. The walls and bannisters are masonry with a plaster finish coat. The pipe handrail is simple in design with a simply articulated support. All handrail elements have been painted.

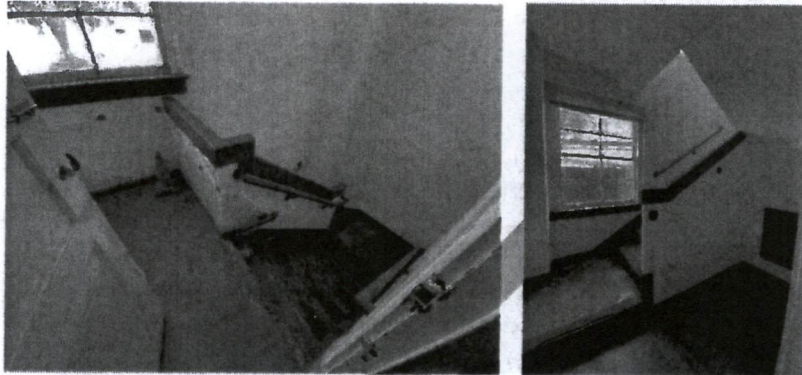
Both stairs are in fair shape when only materials are considered but pose challenges when compared with current code requirements. The South Stair design made sense for its original use, however, it is the only stair that provides a means of egress of the County Courtroom at the third floor and it appears to be too narrow to support the assembly occupancy of this space. The landing dimensions and handrails do not appear to meet code requirements either.

South "Inmate" Stair



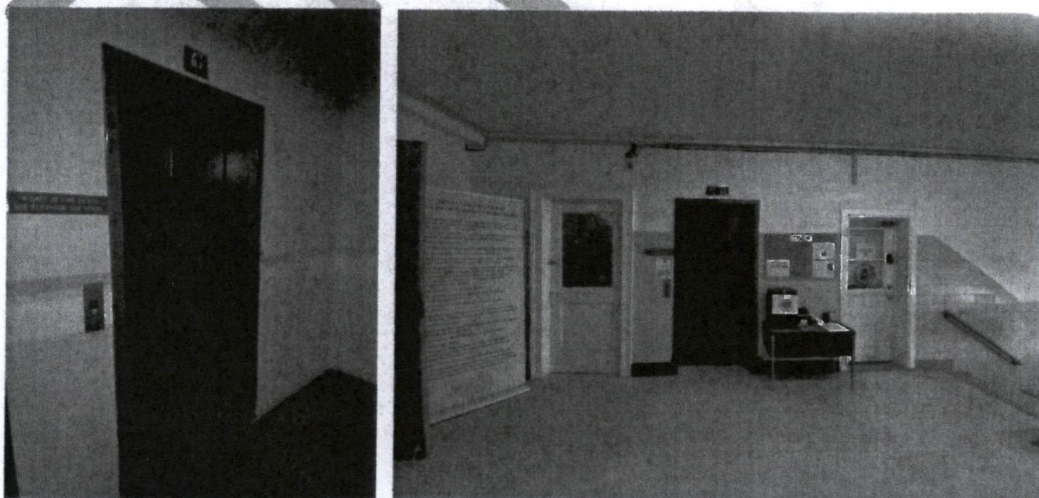
The North Stair clear width is 40", which should satisfy code requirements as it is a second means of egress. The handrails do not meet code as they lack the required extensions. During the assessment, the County was working on refreshing the paint coatings at the treads and landings that have worn through.

North Stair



Elevator

The existing elevator was constructed in 1986, however, it only serviced the basement through third floors. In the late 1990s, the elevator shaft was extended to reach the fourth floor. The elevator is in operational order, technically. However, the County has experienced over six entrapments over the last few years. Even the elevator repair technician has been stuck inside. The elevator company has indicated that the cab and mechanisms are reaching the end of their service life. Replacement parts are getting harder to come by. Two fires have occurred in the elevator control room at the fourth floor due to an electrical shortage. With the elevator out of service multiple times a year, the County cannot properly serve its constituents or hold proceedings in the District Courtroom. Replacing the elevator is a critical need for the County.



Left: View of elevator door at basement. Right: View of elevator door at second floor.

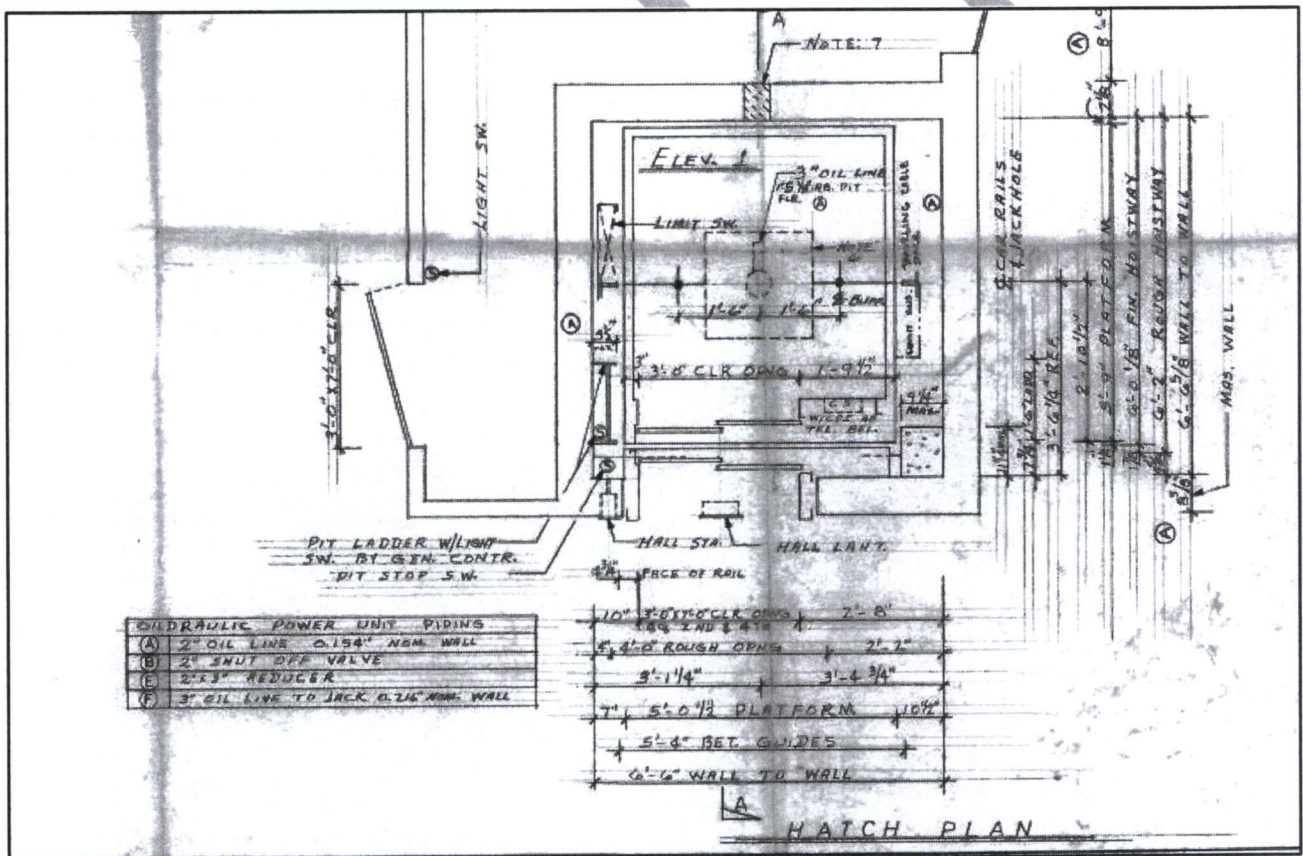


The County would like to reuse the elevator shaft if possible and replace the existing cab and mechanism. The existing cab platform size does not meet TAS requirements, and the size of the shaft is too narrow to accommodate the larger TAS complaint size. TAS has an "existing elevator" exception under Section 407.4.1:

407.4.1 Car Dimensions. Inside dimensions of elevator cars and clear width of elevator doors shall comply with Table 407.4.1.

EXCEPTION: Existing elevator car configurations that provide a clear floor area of 16 square feet (1.5 m2) minimum and also provide an inside clear depth 54 inches (1370 mm) minimum and a clear width 36 inches (915 mm) minimum shall be permitted.

TAS noted that reusing the existing shaft would fall under this exception via email. This item should be investigated further during construction document development to ensure that a new cab can be fabricated to meet this requirement as well as the cost implications.



Plan Detail of 1997 Elevator Shop Drawings

Restrooms

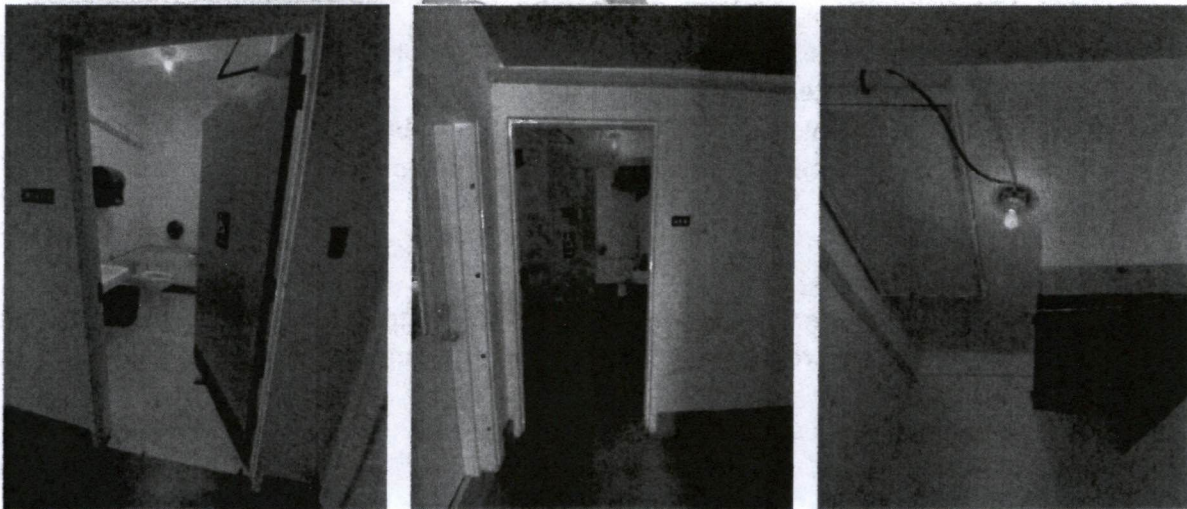
The main public restrooms are located in the basement and at the second floor. The basement restrooms include both gang restrooms and single user restrooms. The gang restrooms have been permanently closed by the County due to the severe condition of the fixtures and plumbing. The basement single user restrooms are in fair condition. They appear to meet current TAS requirements. However, the elevator has been down regularly, which limits access. The basement restrooms also lack exhaust ventilation and hot water.

Basement Accessible Men's and Women's Restroom



The second-floor restrooms are also accessible single users. They are only accessible from the public courtroom through the District Courtroom. The restrooms appear to meet TAS requirements. The finishes are in fair to poor condition. The ceiling at the Men's restroom has a makeshift access panel out of plywood that is warped.

Second Floor Accessible Restrooms



Systems

Structural

The primary structural frame appears to be reinforced cast-in-place concrete. The foundation is a continuous concrete perimeter wall. The basement floor is slab on grade. The first and second floor decks are comprised of cast-in-place concrete slabs with girders spanning north and south from the exterior to first column bay and secondary beams spanning east to west. The roof deck is a composite slab. The portions supporting the fourth-floor penthouse appear to be a one-way concrete slab with cast-in-place beams. The beams span north and south. The portion of the roof deck that falls outside the penthouse appears to be a two-way waffle slab. At the exterior walls, the masonry cladding is a veneer anchored to additional wythes of modular brick via shelf angles. The brick substrate rests directly on the concrete floor decks. The interior, non-loadbearing partition walls are comprised of common brick.

The structural assessment was conducted by the architect. A professional structural engineer was not retained for the purposes of this master plan. One must be consulted during the construction document development. This is a visual assessment and only elements that were easily accessible and not concealed by finishes were reviewed. Nondestructive testing, scans, destructive testing, and geotechnical borings are not included in this assessment.

In general, the structure is in good condition for its age. Komatsu observed the following major deficiencies during the assessment:

- Settlement of exterior grade and sidewalks
- Exposed reinforced concrete beams with corrosion at window wells
- Exposed steel reinforcement at basement exterior entries
- Cracking and uneven slope in basement slab
- Cracking at north vestibule ceiling and door lintel rust jacking
- Cracking at north porch stem wall
- Cracking at roof deck visible from third floor at central lobby
- Corrosion at roof deck reinforcement visible from third floor at County Courtroom

Mechanical / Electrical / Plumbing

DBR Engineering reviewed the mechanical, electrical, and plumbing systems as well and provided a condition report. The list below provides an overview of existing conditions. The full report is included in Appendix G.

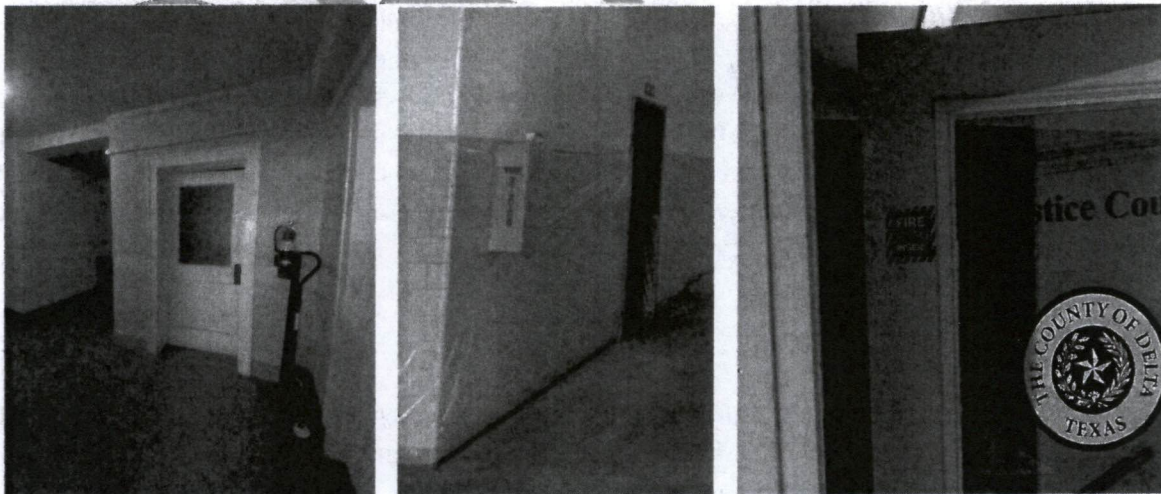
- **Mechanical** – The HVAC is supplied by a combination of wall mounted, VRF heat pump, split systems and window units. Over half of the building has no HVAC whatsoever. Building occupants often complain of humidity and discomfort during most of the time of year. The building lacks ventilation.

- **Electrical** - The primary electrical service is a pole mounted transformer with a service mast connected to a distribution panel mounted on the exterior of the building. The service equipment is a Square D 400 amp I-Line type distribution panel. There was no grounding in the building. Conduit is surface mounted and exposed throughout the building.
- **Plumbing** – The domestic water lines have failed recently. It is likely that all existing piping is deteriorated. The natural gas service to the building has been capped. The building does not have hot water. None of the existing plumbing fixtures are ADA compliant and there are not enough fixtures per contemporary code requirements for the building’s size and occupancy. Exposed piping is present at most offices.

In summary, all MEP systems appear to be in poor to severe condition and have reached the end of their serviceable life. Each system should be replaced in full according to contemporary standards. This recommendation includes all piping, wiring, conduit, ducts, and equipment. MEP components have a limited-service life and most of the components at Delta County have been used far longer than intended.

Fire Detection & Suppression

The Courthouse is missing most life safety measures required by code. Exit signage is present at the first-floor entrances. Fire extinguishers were visible throughout the building. The extinguishers at the basement do not have cabinets. One was sitting on the floor. The fire extinguishers at the second floor are stored in offices with notifications on the office doors. However, fire extinguishers were not present at the upper floors. The building is not outfitted with smoke detectors, fire alarms, or an automatic sprinkler system.



Left: Fire extinguisher at basement level. Center: Fire extinguisher cabinet at first floor corridor. Right: Sticker at Justice of the Peace’s office door indicating a fire extinguisher within.



Security

Cameras are present at the building's exterior and interior. Metal detectors, keycard access, and other contemporary security features are not present. The State of Texas Judicial Branch Court Security Division provides a short, baseline security assessment that can be completed by the County and Sheriff's department. The assessment is available here -

<https://www.txcourts.gov/media/1442091/courthouse-security-assessment.pdf>

Additionally, the County could seek an assessment by the Texas Office of Court Administration (<https://www.txcourts.gov/oca/>) or a certified security consultant to provide a full, detailed security assessment to be incorporated in a future restoration.

Communications / Technology

The County's phone system is currently hard wired to the building. They are in the process of reviewing and contracting with a VoIP system provider. The internet is provided by fiber drops at surface mounted conduit through most of the building. The WiFi router is located on the second floor and the signal is poor through most of the building.

Energy Efficiency & Sustainability

Continuing to occupy the historic courthouse building is in and of itself a sustainable action taken by the County. Continued use of the building maintains the embodied energy of the building, prevents demolition, and keeps the building materials out of the landfill.

Energy efficiency in a restoration project can be improved in two ways: upgrading HVAC equipment and other building systems and insulating the wood windows with interior storm windows. The current building systems are outdated and are a patchwork of systems that have been installed as needed. The variety of equipment results in a struggle to heat and cool the building efficiently. A new, comprehensive HVAC system will utilize energy efficient equipment, which will work together to properly condition the space. Repairing and restoring the windows and renewing the perimeter sealant at all openings will also aid in energy efficiency. Interior storm windows may be considered to further improve heat gain and loss at the windows. The County may also consider additional sustainability measures during construction document development, such as gray water / rainwater reclamation, low flow plumbing fixtures, and recycling programs.

Preliminary Code Analysis

The City of Cooper updated their building codes in September of 2022 through City Ordinance # 06-09-22. This was verified by city staff. The following codes and standards were reviewed:

- 2018 International Building Code
- 2017 National Electrical Code
- 2018 International Fire Code
- 2018 International Plumbing Code
- Texas Accessibility Standards, 2012 and related THC/TDLR Memorandum of Understanding



The code analysis is preliminary, and the lists included are intended to highlight requirements that will affect the restoration recommendations in Chapter 4 and the overall cost estimate. Future planning stages to develop the plans and specifications for restoration work, must continue to review and apply the applicable standards and codes to ensure the health, safety, and welfare of the building's occupants and the public.

2018 International Building Code (IBC)

The intent of the building codes is to establish "minimum requirements to safeguard the public health, safety, and general welfare of the occupants of new and existing buildings." The code achieves this goal by addressing structural strength, means of egress, sanitation, adequate lighting and ventilation, accessibility, energy conservation, and safety to life and property from fire and other hazards. Existing buildings, even historic buildings, must follow these codes when undertaking alterations, repairs, demolition, or new construction such as additions. The list below highlights non-compliant elements to be addressed in the proposed restoration work. These deficiencies are also noted on the Evaluation drawings at the end of this section. This list is not intended to be comprehensive but to provide a base line for the restoration design.

Chapter 3 – Occupancy Classification and Use

Primary Occupancy Types

- Business (B) - offices
- Assembly (A-3) - courtrooms

Chapter 6 – Types of Construction

Construction Type – Existing IIB, Construction to Remain

Chapter 9 - Fire Protection and Life Safety Systems

- IBC 902 – If an automatic sprinkler system is provided, include fire riser room with easy access for fire department. Sprinklers are required, so a fire riser room will be required. Exterior access is typical.
- IBC 903.2.1.3 - Automatic sprinklers are required for Group A-3 occupancies if the fire area is located on a floor other than a level of exit discharge serving the occupancy. The second floor District Courtroom is an Assembly A-3 space and the level of exit discharge is at the first floor, meaning sprinklers are required.
- IBC 906 Portable Fire Extinguishers – Fire extinguishers shall be installed in Group A, B, and S occupancies. The courthouse has all the above, so fire extinguishers must be installed in conspicuous locations where they have ready access along normal paths of travel at each floor. Currently, the Courthouse is outfitted with fire extinguishers, but some are stored in offices. These should be relocated and stored in cabinets as the code requires.
- IBC 907.2.1 Fire Alarm and Detection Systems – Occupant Group A and load requires a fire alarm and detection system. Manual operation is not required if the building is equipped with an automatic sprinkler system. The Courthouse does not currently have an alarm system.
- IBC 912 - Fire Department Connections – An exterior connection is required in a fully visible and recognizable location. The building is not currently outfitted with an FDC.



Chapter 10 – Means of Egress

IBC 1004 Occupancy Load - The total occupant load is 291 people. This was calculated per floor:

- Basement
 - Storage (S) – 6,116 SF (1:300 gross) = 20 people
- First
 - Business (B) - 6,158 SF (1:150 gross) = 41 people
- Second
 - Business (B) – 3,195 SF (1:150 gross) = 21 people
 - Assembly (A-3) – 167 people
 - Fixed Seats
 - 16 Full Size (14'3") Benches – 152 people
 - Fixed Seats with Arms – 15 people
 - Courtroom- Other than Fixed Seating Area – 1412 SF (1:40 net) – 35 people
- Third
 - Business (B) - 3,193 SF (1:150 gross) = 21 people
- Penthouse
 - Storage (S) – 2,172 (1:300 gross) = 7 people

IBC 1005.3.1 Means of Egress Stairway Sizing - Based on the occupancy load, the existing south stairway is too narrow. If automatic sprinklers are added the required width can be narrower.

IBC 1005.5 Distribution – The required Means of Egress stair size can be distributed amongst more than one exit.

- Standard Means of Egress Capacity Factor 0.3 inch - $291 \text{ people} \times .3 = 87.3 \text{ inches}$
- Exception 1 – Means of Egress Capacity Factor with Sprinklers 0.2 inch - $291 \times .2 = 58.2 \text{ inches}$

IBC 1006 Number of Exits – For spaces/floors with 49 people or less, only one exit is required. All others require two. The second floor has an occupant load of 188 people.

IBC 1009.2.1 Accessible Means of Egress - In buildings with four or more floors, one accessible means of egress shall be an elevator. The courthouse is five stories and currently has an elevator. The elevator must be maintained and repaired or improved.

IBC 1010.1.1 Doors - All doors on the means of egress shall have a minimum width of 32 inches. All doors must be reviewed to confirm the clear width is met.

IBC 1011.2 Stairways – Stairways must be a minimum clear width of 44 inches no matter the occupant load. Exception 1 notes that stairways serving an occupant load of less than 50 shall have a minimum width of 36 inches clear. The south stair does not meet this requirement.

IBC 1023.1 General - All interior exit stairs must be enclosed. The existing central stairs are not enclosed. Exception 4 may apply if the building is equipped with automatic sprinklers and four other requirements.



IBC 1014 Handrails – This section outlines the location and size of handrails. Most handrails throughout the building do not meet the extension requirements.

Chapter 11 Accessibility – Refer to the TAS section below.

Chapter 29 Plumbing Systems

IBC 2902 Minimum Plumbing Facilities - For Occupancy B with 291 people fixtures will be divided as follows: Males – 146, Females – 146. The following water closets (aka toilet or urinal fixtures) must be provided throughout the building.

- Water Closets (1 per 25 people for the first 50 people; then 1 per 50 people)
 - Male – 4
 - Female – 4

The building currently does not comply with the fixture count as it has too few fixtures. Also, the larger gang restrooms are located at the basement and are in disrepair. This does not serve the major assembly occupancies well.

Texas Accessibility Standards

The Texas Accessibility Standards (TAS) are requirements set by the Texas Department of Licensing and Regulation's (TDLR) Elimination of Architectural Barriers Program. These standards are intended to ensure that all facilities are accessible to all people regardless of their physical disabilities. In the state of Texas, TAS is the adopted substitute that meets and exceeds the federal American with Disabilities Act (ADA) Guidelines. For more information on TAS, please visit:

<https://www.tdlr.texas.gov/ab/ab.htm>. Additionally, TDLR and THC have a Memorandum of Understanding (MOU) that outlines four exceptions for historic courthouses.

The plans for the proposed restoration of the Delta County Courthouse do alter areas considered to house "primary functions", therefore, the Texas Accessibility Standards requirements must be adhered to at all phases of the restoration project. In general, Americans with Disabilities Act (ADA) must be adhered to regardless of whether a restoration project occurs. The ADA, administered by the Department of Justice, requires a public entity with 50 or more employees to designate an ADA Coordinator who is familiar with the accessibility requirements and compliance. As of 2010, The DOJ also recommends, but no longer requires, that the County perform an accessibility self-evaluation which documents and outlines needed future upgrades.

The Courthouse was updated in 1985 to make it more accessible, however the updates do not appear to meet current TAS standards. There is a ramp at the public north entry. The 1985 update also added an elevator that originally provided access to the basement, first, and second floors. Another update between 1996 and 1998 expanded elevator access to the penthouse. Currently, when it is operational, the elevator serves all floors of the building and provides access to the primary business and assembly occupancies. Two single user restrooms in the basement and two on the second floor are currently designated as accessible, and they appear to meet TAS standards. An issue does arise when the elevator is out order, as this renders the basement and second floors non-accessible and these



bathrooms unreachable by those in need of accessible accommodations. There is an accessible route from the designated accessible parking spots on the east side of the building into the first floor via the ramp. The first-floor route then allows access to the District Courtroom and other services via the elevator.

The list below highlights non-compliant elements starting at the parking lot to the interior that affect public and staff use areas that will need to be addressed in the proposed restoration work. These deficiencies are also noted on the Evaluation drawings at the end of this section. Recommendations on how to remedy accessibility issues are included in Chapter 4.

Site and Exterior Accessibility

TAS 502 - The two accessible parking spaces are marked only by pole signage. The spaces are not striped, and there is no access aisle for the two designated accessible spots. The deteriorated curb and pavement in the parking lot are not level in all directions. The current curb does not have an accessible cut, but instead a small, sloped area of concrete added between the curb and the parking surface. This does not meet TAS standards.

TAS 405 - The north ramp clear width is narrow, and the metal walking surface is deteriorating. The slope and cross slope of the spaces are unknown at this time. The ramp should be surveyed to ensure proper slopes have been met. The slope should be 1:12 or 8.33% or less. The landings should be surveyed at the top and bottom of the ramp to ensure that the cross slopes do not exceed 1:50 or 2%.

TAS 505 - The north, south and east exterior handrails do not comply with TAS requirements, as they are missing extensions. The west porch does not have handrails at the stairs.

Interior Accessibility

TAS 206.2.3 - The elevator provides an accessible route to all floors, however, it is deteriorating and requires repairs.

TAS 207 and 504 – The south egress stairs do not comply with International Building Code (IBC) requirements for clear width. The handrails on all stairs are too low and do not meet extension requirements.

TAS 603 - The current public basement Men's and Women's Restrooms are no longer in use as they are deteriorating and do not provide adequate accessible stall dimensions, grab bars, fixture maneuvering clearances, or fixture controls. The two accessible single user restrooms in the basement are currently serving both the public and the staff. This does not serve the building well. There are two semi-public single users located at the second floor, which appear to meet TAS standards but have deteriorating fixtures. The doors on all but the accessible men's restroom on the second floor swing into the minimum required compartment area.

TAS 703 – Accessible door signage is not present throughout the building.

TAS 404.2.7 - The office doors have knobs instead of levers.

TAS 602.4 and 602.7 – There is only one drinking fountain to serve the entire building. It is located on the second floor in the corridor outside the District Courtroom. The drinking fountain is not code compliant. It projects into the clear space of the walkway and is a protruding object. The electric water fountains should provide one spout at 36" above the floor and one spout 40" to 42" above the floor at each floor. The fountains should have a knee clearance underneath the fountain (TAS 305 and 306).

2018 International Fire Code (IFC)

The City of Cooper has adopted the 2018 IFC. The purpose of the IFC "is to establish the minimum requirements consistent with nationally recognized good practice for providing a reasonable level of life safety and property protection from the hazards of fire, explosion, or danger conditions in new and existing buildings...and to provide a reasonable level of safety to fire fighters and emergency responders during emergency operations." The follow summary highlights the major requirements that affect the Courthouse:

Chapter 1 – Scope and Administration

IFC [A] 102.6 Historic Buildings – "The provisions of this code relating to the construction, alteration, repair, enlargement, restoration, relocation, or moving of buildings shall not be mandatory for existing buildings identified and classified by the state or local jurisdiction as historic buildings where such buildings do not constitute a distinct hazard to life or property. Fire protection in designated historic buildings shall be provided with an approved fire protection plan as required in Section 1103.1.1."

The Courthouse is designated as a historic structure under Texas Government Code 442.008. Komatsu recommends that a future restoration attempt to meet the IFC as much as possible without damaging historic fabric or character defining features. During the construction document development phase, the design team must work closely with the local Fire Marshall to determine what requirements can be met.

Chapter 4 – Emergency Planning and Preparedness

This chapter addresses the human element of fire protection. The requirements are outside of the scope of this report as they do not address the built-in fire protection and architecture. However, the County should be aware of their existence and review/implement accordingly.

Chapter 5 – Fire Service Features

IFC 503.1.1 – A fire apparatus access road must be provided around the Courthouse and within 150 feet. The Fire Marshall is allowed to increase this dimension if an automatic sprinkler system is installed according to Exception 1.1. The streets and paved alley around the building should fulfill this requirement. This should be verified during construction document development.

IFC 505.1 The building address must be easily identified. The address is not displayed at the Courthouse, however the building name is clear from the street.

IFC 506.1 A key box must be provided for secured access. A key box was not observed on site.

IFC507.1 Water supply for fire hoses must be present on site. A fire hydrant is located at the southeast corner of the site. Future investigation should verify its condition and capacity.

IFC509.1 Rooms containing controls for sprinkler risers, HVAC systems, etc. must be identified. If a sprinkler system is installed in the future restoration, a fire riser room will be required.

Chapter 6 – Building Services and Systems

This chapter includes requirements for fuel fired appliances, electrical equipment, wiring, mechanical refrigeration, elevator operation, etc. These requirements must be reviewed during construction document development.

Chapter 7 – Fire and Smoke Protection Features

This chapter discusses maintenance of fire and smoke protective elements required by the International Building Code once the building is in operation. The requirements are outside of the scope of this report as they do not address the built-in fire protection and architecture. However, the County should be aware of their existence and review/implement accordingly.

Chapter 8 – Interior Finishes

This chapter provides requirements for interior finishes, decorative materials, and furnishings so that they do not significantly add to the building's fire hazards. These requirements must be reviewed during construction document development.

Chapter 9 – Fire Protection and Life Safety Systems

This chapter duplicates Chapter 9 of the IBC. These requirements must be reviewed during construction document development.

Chapter 10 – Means of Egress

This chapter duplicates Chapter 10 of the IBC. Refer to the IBC section of this report for discussion. These requirements must be reviewed in more detail during construction document development.

IFC 1031.3 Means of Egress must be free of obstructions at all times.

IFC 1031.4 Exit Signs must be installed at the means of egress.

IFC 1031.10 Emergency lighting must be provided and tested regularly.

Chapter 11 – Construction Requirements for Existing Buildings

This section requires minimum upgrades to existing buildings even if they were constructed prior to the adoption of the code.

IFC 1103.4.2 Buildings with interior vertical openings connecting three to five stories shall be protected by 1 hour fire rated enclosure or an automatic sprinkler system. The south stair connects more than three stories. It must be redesigned for accessibility, and the new enclosure must provide the fire



rating and/or an automatic sprinkler system must be installed. Komatsu has included recommendations for both items.

IFC 1103.4.8 Stairs that only connect two stories are not required to be enclosed. This applies for the central and north stair.

IFC 1103.7 The building must have a fire alarm system.

IFC 1104 provides some adjustments and exceptions for means of egress requirements found elsewhere in the code for existing buildings.

Chapter 12 – Energy Systems

This chapter includes requirements for electrical systems and equipment. These requirements must be reviewed during construction document development.

Space Planning & Programming

The basement, third floor, and penthouse are used inefficiently. At the basement, the layout for the storage spaces and offices is irregular, which results in wasted space. The largest public restrooms are at this level, however, the occupancy count is low. On the third floor, the former sheriff's quarters are unused. The former jury dormitory has been reused as a Commissioners Court space, however, the space is remote from the offices that primarily use it. Having an assembly space on the third floor also limits public access. At the penthouse, the former jail space is used for storage. These secondary spaces could be reworked for a more efficient and functional spatial layout.

The County is currently working on plans for a new Annex building. Their intention is to house the following offices and services out of the new structure permanently:

- Tax Assessor & Collector
- Justice of the Peace
- Commissioners Court
- Ag Extension Office
- Constable

By relocating these functions, additional space is freed up in the Courthouse. Suggested space plans for the restoration are included in Chapter 4 Recommendations.

Other County-Owned or Occupied Facilities

The County currently owns and occupies the following buildings besides the Courthouse:

- Public Library
- Civic Center
- Law Enforcement Center (Sheriff's Office and Jail)
- Four Precinct Barns





Left: Delta County Law Enforcement Center Right: Delta County Public Library

Archives and Storage

The County and District records are located primarily at the basement and first floors. Most are under the direct custody of the County/District Clerk and Tax Assessor/Collector, all of which are required by law to maintain records for a designated period of time, in some cases in perpetuity. The County has provided an Archival Records Plan per the THC's requirements. It is included in Appendix L and is filed with the Texas State Library and Archives Commission.

The County / District Clerk's records are located in their main office at the first floor and in secured file storage rooms at the basement. The first-floor storage space is clean, well lit, and temperature controlled. The temperature control does not operate at optimal levels, leaving the room too hot or too cold. Humidity control is also an issue in the space. Records are stored in metal cabinets and bookshelves. The office is not currently fire protected.

The County / District Clerk also controls the Elections equipment. Equipment is stored in secure rooms at the basement. A sewer main runs in the space adjacent to the equipment and has leaked in the past. Equipment is stored on the floor and does not have proper shelving.

Like the Clerk, the Tax Assessor/Collector's storage is clean and organized. Records are stored primarily in the vault located within their office space. Staff utilize the records regularly and access for the public is limited.



Assessment Floor Plans**Assessment Floor Plan Notes**

The following notes apply to the assessment floor plans included in this section. The elevation assessment notes are included on each drawing sheet.

General Notes

For the purpose of this report, conditions that were easily visible and accessible were assessed. Additional conditions may be found on closer inspection.

As-Built drawings were developed using the original 1942 Drawings and the 2019 Facilities Conditions Assessment Drawings by Randall Scott Architects with limited field verification. Construction drawings must further confirm the accuracy of the drawings.

“Historic Feature Notes by Symbol” highlight original, historic materials or features that must be preserved.

“Deficiency Notes by Symbol” indicate intrusive materials or systems, non-code compliant building elements, or deteriorated original material in need of repair. See Chapter 4 for recommendations on how to remedy these issues.

Historic Feature Notes by Symbol “□”

1. Floors
 - a. Concrete
2. Walls
 - a. Original plaster finish intact.
 - b. Original tile wainscot
 - c. Wood wainscot
 - d. Pony wall with handrail
 - e. Painted wood baseboard, typ.
 - f. Wood paneling
3. Ceiling
 - a. Original plaster ceiling visible and intact.
4. Doors
 - a. Vault frame with wood door.
 - b. Vault door
 - c. Solid wood door
 - d. Wood door with large lite
 - e. Wood door with small lite
 - f. Wood double door with lites
 - g. Metal cell door
5. Windows



- a. Original multi-lite wood window
- b. Interior window
- c. Multi-lite transom window
- 6. MEP
 - a. Radiator intact.
 - b. Radiator intact at ceiling
 - c. Open air light well
- 7. Vertical Circulation
 - a. Concrete stairs
 - b. Original texture strips on treads
- 8. Restrooms
 - a. Restroom existing on original Hoke Smith floor plans
- 9. Furniture
 - a. Original counter
 - b. Original courtroom furniture
 - c. Original audience benches

Deficiency Notes By Symbol "○"

- 1. Floors
 - a. All coatings have been removed from concrete.
 - b. Coatings on the concrete floor are worn.
 - c. Intrusive Carpet.
 - d. Major water damage.
 - e. Intrusive vinyl flooring.
 - f. Water stain
 - g. Visible slope in floor surface.
- 2. Walls
 - a. Plaster Bubble
 - b. Exposed piping.
 - c. Intrusive wall
 - d. Missing and loose tiles. Tile separated from substrate.
 - e. Plaster spall.
 - f. Furring with unfinished access panel.
 - g. Peeling paint
 - h. Shadow line at wood wainscot
 - i. Damage at wood wainscot
 - j. Intrusive furring
 - k. Intrusive access hatch.
 - l. Water damage
 - m. Plaster crack at door frame corner
 - n. Visible mold or biological growth.
- 3. Ceilings
 - a. Intrusive Acoustical Grid Ceiling
 - b. Visible patch in plaster
 - c. Water stain at ceiling.



- d. Plaster Spall
 - e. Major water leak. Damage at finish ceiling and concrete structure.
 - f. Unfinished access hatch.
 - g. Intrusive furring
 - h. Large crack with water stains and peeling paint surrounding.
 - i. Peeling paint.
4. Doors
- a. Door leaf removed. Trim and framing intact.
 - b. Door leaf removed and infilled with shelving.
 - c. Lintel and adjacent material separating. Corrosion visible.
 - d. Major crack and Spall of masonry. Corrosion visible at lintel.
 - e. Damaged / replaced door trim.
 - f. Vault door removed.
 - g. Incompatible replacement door leaf.
 - h. Handle or knob missing.
 - i. Threshold trip hazard
 - j. Doors locked. No panic hardware for egress.
5. Windows
- a. Sash in severe condition
 - b. Intrusive Aluminum Window
 - c. Window removed and opening filled in.
6. MEP
- a. Removed radiator
 - b. Mini split cassette at wall
 - c. Exposed conduit at wall
 - d. Exposed conduit at ceiling
 - e. Major crack in light fixture glass and frame
 - f. Exposed hose bib
 - g. Window unit
 - h. Missing light fixture
 - i. Panel boards
 - j. Intrusive AC closet.
 - k. Exposed wiring at junction box.
 - l. Daisy chained light fixture
 - m. Damaged plumbing fixture
 - n. Large boiler steam lines and other piping at ceiling.
 - o. Exposed cast iron sewer line. Furring removed. Fumes present.
 - p. Abandoned boiler
7. Circulation
- a. Elevator entrapment occurs regularly
 - b. Stair handrails do not meet TAS requirements
 - c. Stair clear width does not appear to meet code requirements for Assembly occupancy at third floor.
 - d. Means of egress is too narrow and indirect. Does not fulfill code requirements.



- 8. Restrooms
 - a. Not TAS compliant
 - b. Abandoned in place by County. Pipe and Fixtures not functional.
 - c. No exhaust fan or ventilation.
- 9. Furniture
 - a. Intrusive counter
 - b. Modifications to original counter
 - c. Step up not TAS compliant
 - d. Water damage
 - e. Bench veneer cracked and split.
 - f. Dias severely damaged from water leak.
- 10. Roof
 - a. Limited existing drainage.
 - b. No overflow drains or scuppers.

DRAFT



GENERAL FLOOR PLAN NOTES

KEYS FOR THE HISTORIC MATERIAL NOTES AND DEFICIENCY NOTES CAN BE FOUND AT THE BEGINNING OF THIS SECTION.

FOR THE PURPOSE OF THIS REPORT, CONDITIONS THAT WERE EASILY VISIBLE AND ACCESSIBLE WERE ASSESSED. ADDITIONAL CONDITIONS MAY BE FOUND ON CLOSER INSPECTION.

AS BUILT DRAWINGS WERE DEVELOPED USING THE ORIGINAL DRAWINGS AND THE 2019 FACILITIES CONDITIONS ASSESSMENT DRAWINGS BY RANDALL SCOTT ARCHITECTS WITH LIMITED FIELD VERIFICATION, CONSTRUCTION DRAWINGS MUST FURTHER CONFIRM THE ACCURACY OF THE DRAWINGS.

"HISTORIC MATERIAL NOTES BY SYMBOL" HIGHLIGHT ORIGINAL HISTORIC MATERIAL THAT MUST BE PRESERVED.

"DEFICIENCY NOTES BY SYMBOL" INDICATE INTRUSIVE MATERIALS/ SYSTEMS, NON-CODE COMPLIANT BUILDING ELEMENTS, OR DETERIORATED ORIGINAL MATERIAL IN NEED OF REPAIR. SEE SECTION IV, FOR RECOMMENDATIONS ON HOW TO REMEDY THESE ISSUES.

NOTE THAT SURFACE WEAR IS TYPICAL THROUGHOUT ALL FLOORS & WALLS IN THE BUILDING, MEANING THAT THE FINISH MATERIALS SHOW SIGNS OF REGULAR USE INCLUDING: SCRATCHES, STAINS, SCUFFS, FLAKING COATINGS, CHIPS, ETC. THESE DEFICIENCIES WILL REQUIRE REFINISHING IN THE FUTURE, BUT ARE NOT SEVERE ENOUGH TO RESULT IN A LOSS OF HISTORIC FABRIC.

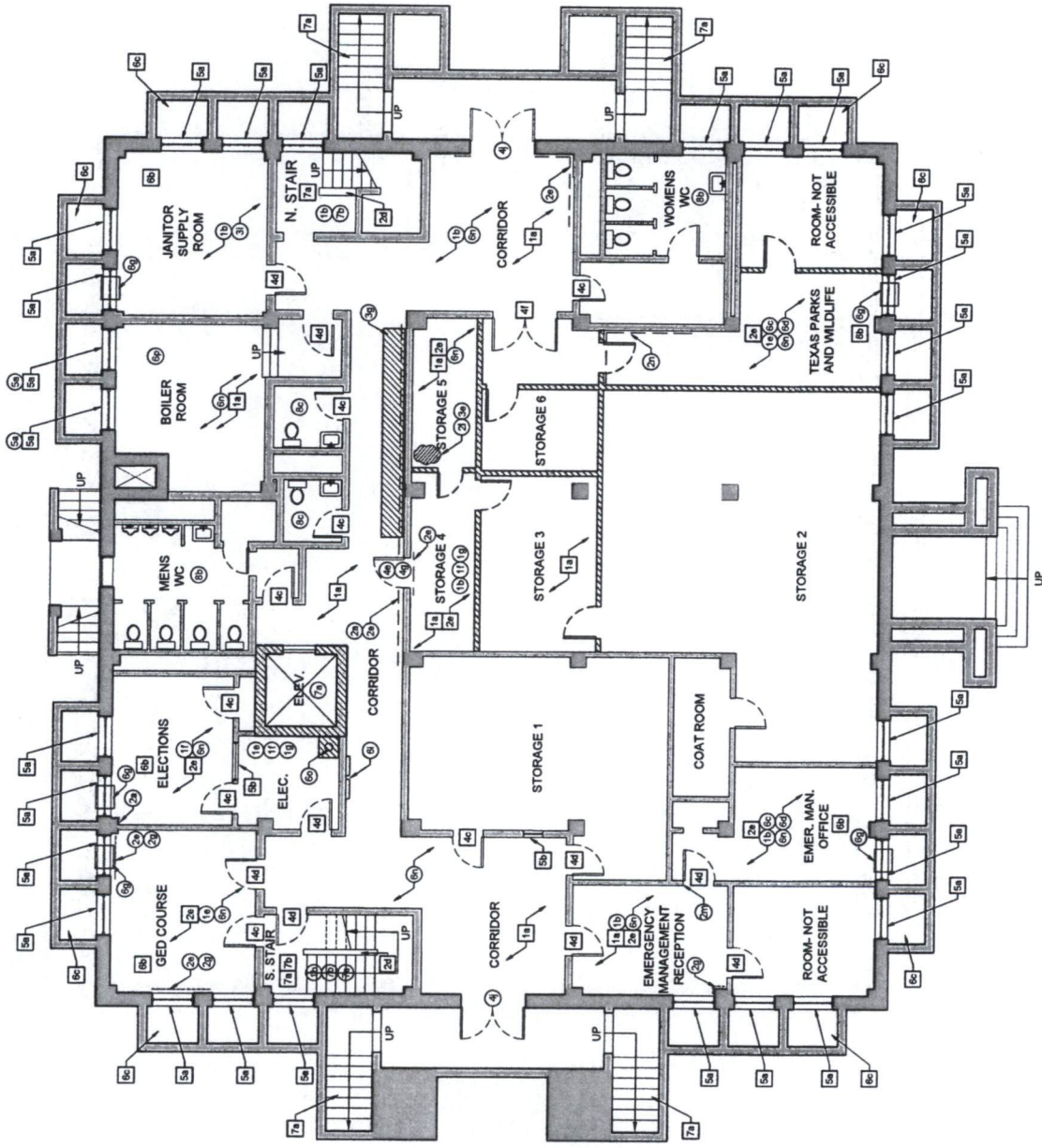
FOR A DETAILED REPORT OF ROOM FINISHES, FEATURES, AND CONDITIONS, PLEASE SEE THE ROOM-BY-ROOM SURVEY.

LEGEND

- HISTORIC WALL
- INTRUSIVE/NOT HISTORIC WALLS
- EXTENT OF DAMAGE AT WALL
- EXTENT OF DAMAGE AT THE CEILING

BASEMENT ASSESSMENT PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL FLOOR PLAN NOTES

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HISTORIC MATERIAL NOTES BY SYMBOL HIGHLIGHT ORIGINAL, HISTORIC MATERIAL THAT MUST BE PRESERVED.

DEFICIENCY NOTES BY SYMBOL INDICATE INTRUSIVE MATERIALS/ SYSTEMS, NON-CODE COMPLIANT BUILDING ELEMENTS, OR DETERIORATED ORIGINAL MATERIAL IN NEED OF REPAIR. SEE SECTION IV, FOR RECOMMENDATIONS ON HOW TO REMEDY THESE ISSUES.

NOTE THAT SURFACE WEAR IS TYPICAL THROUGHOUT ALL FLOORS & WALLS IN THE BUILDING, MEANING THAT THE FINISH MATERIALS SHOW SIGNS OF REGULAR USE INCLUDING: SCRATCHES, STAINS, SCUFFS, FLAKING COATINGS, CHIPS, ETC. THESE DEFICIENCIES WILL REQUIRE REFINISHING IN THE FUTURE, BUT ARE NOT SEVERE ENOUGH TO RESULT IN A LOSS OF HISTORIC FABRIC.

FOR A DETAILED REPORT OF ROOM FINISHES, FEATURES, AND CONDITIONS, PLEASE SEE THE ROOM-BY-ROOM SURVEY.

LEGEND

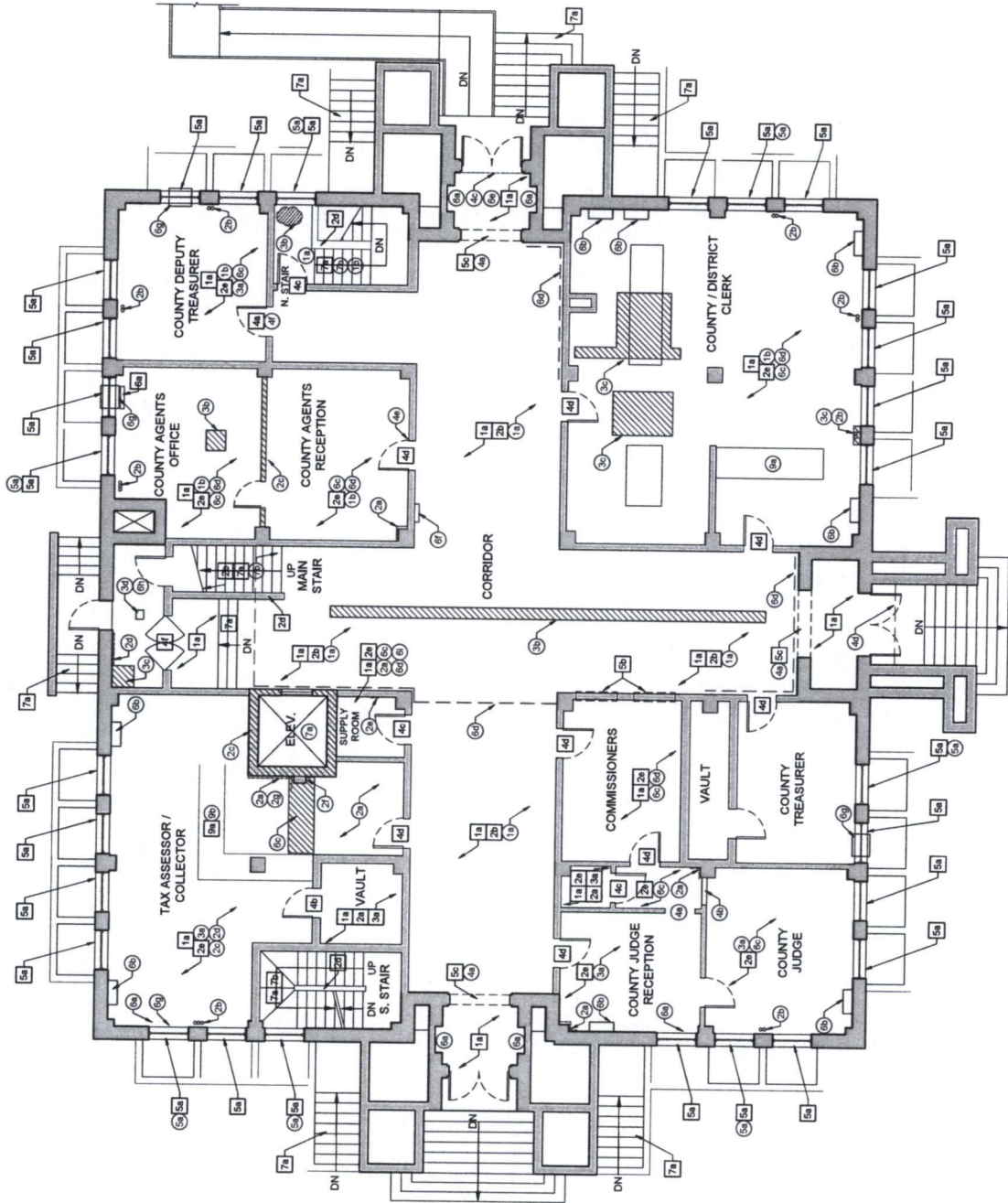
- HISTORIC WALL
- INTRUSIVE/NOT HISTORIC WALLS
- EXTENT OF DAMAGE AT WALL
- EXTENT OF DAMAGE AT THE CEILING

FIRST FLOOR ASSESSMENT PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



N SCALE : 3/32" = 1'



GENERAL FLOOR PLAN NOTES

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AS BUILT DRAWINGS WERE DEVELOPED USING THE ORIGINAL 1919 DRAWINGS AND THE 2019 FACILITIES CONDITIONS ASSESSMENT DRAWINGS BY RANDALL SCOTT ARCHITECTS WITH LIMITED FIELD VERIFICATION, CONSTRUCTION DRAWINGS MUST FURTHER CONFIRM THE ACCURACY OF THE DRAWINGS.

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NOTE THAT SURFACE WEAR IS TYPICAL THROUGHOUT ALL FLOORS & WALLS IN THE BUILDING, MEANING THAT THE FINISH MATERIALS SHOW SIGNS OF REGULAR USE INCLUDING: SCRATCHES, STAINS, SCUFFS, FLAKING COATINGS, CHIPS, ETC. THESE DEFICIENCIES WILL REQUIRE REFINISHING IN THE FUTURE, BUT ARE NOT SEVERE ENOUGH TO RESULT IN A LOSS OF HISTORIC FABRIC.

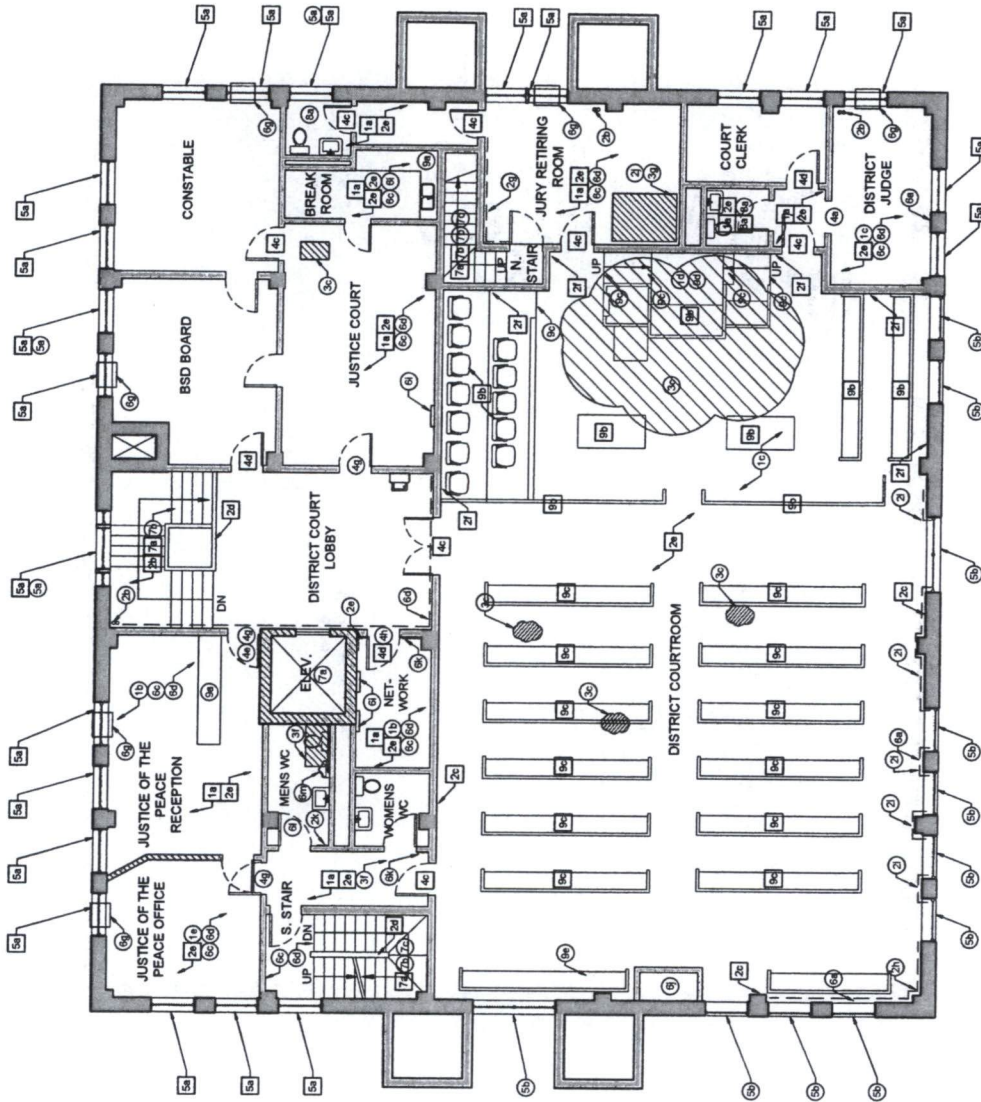
FOR A DETAILED REPORT OF ROOM FINISHES, FEATURES, AND CONDITIONS, PLEASE SEE THE ROOM-BY-ROOM SURVEY.

LEGEND

- HISTORIC WALL
- INTRUSIVE/NOT HISTORIC WALLS
- EXTENT OF DAMAGE AT WALLS
- EXTENT OF DAMAGE AT THE CEILING

SECOND FLOOR ASSESSMENT PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL FLOOR PLAN NOTES

KEYS FOR THE HISTORIC MATERIAL, NOTES AND DEFICIENCY NOTES CAN BE FOUND AT THE BEGINNING OF THIS SECTION.

FOR THE PURPOSE OF THIS REPORT, CONDITIONS THAT WERE EASILY VISIBLE AND ACCESSIBLE WERE ASSESSED. ADDITIONAL CONDITIONS MAY BE FOUND ON CLOSER INSPECTION.

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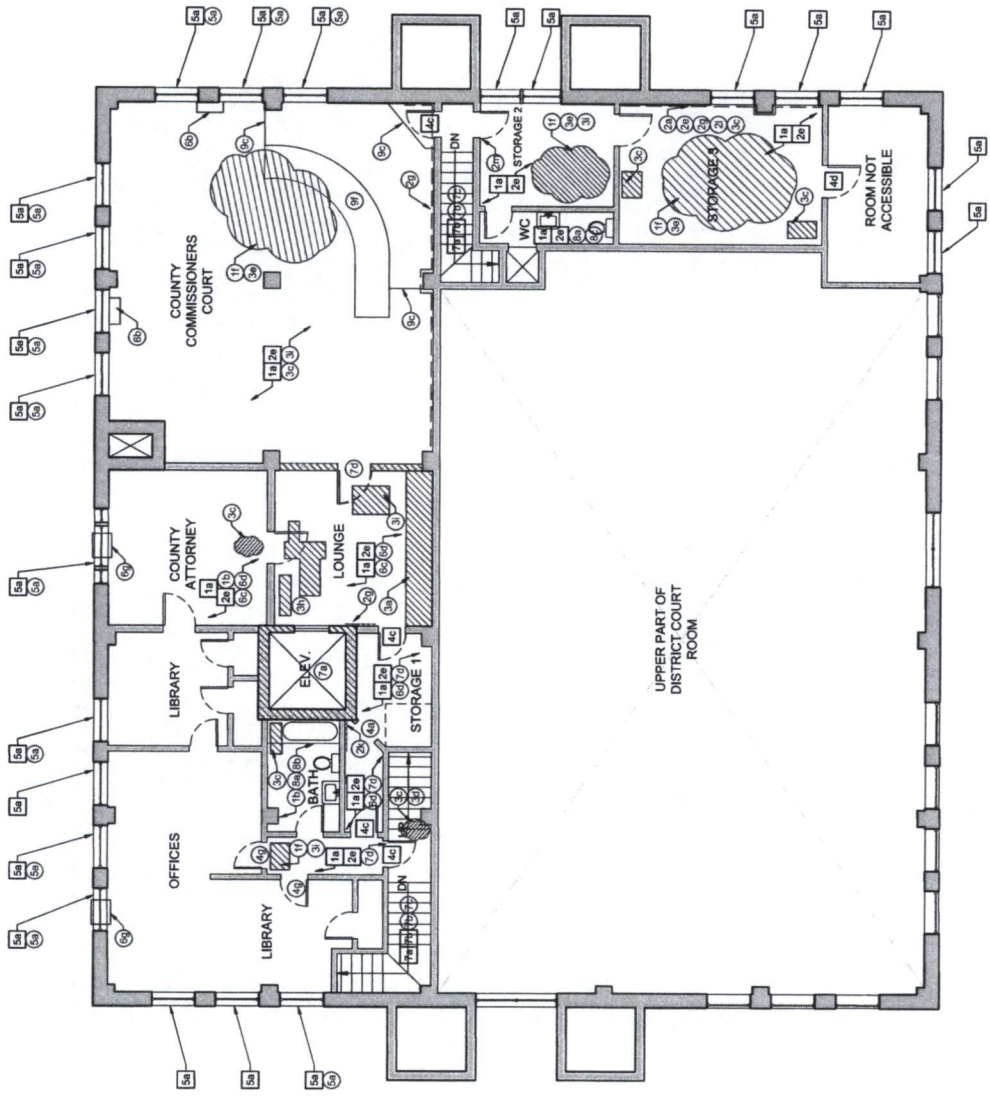
NOTE THAT SURFACE WEAR IS TYPICAL THROUGHOUT ALL FLOORS & WALLS IN THE BUILDING, MEANING THAT THE FINISH MATERIALS SHOW SIGNS OF REGULAR USE INCLUDING: SCRATCHES, STAINS, SCUFFS, FINISHING COATINGS, CHIPS, ETC. THESE DEFICIENCIES WILL REQUIRE REFINISHING IN THE FUTURE, BUT ARE NOT SEVERE ENOUGH TO RESULT IN A LOSS OF HISTORIC FABRIC.

FOR A DETAILED REPORT OF ROOM FINISHES, FEATURES, AND CONDITIONS, PLEASE SEE THE ROOM-BY-ROOM SURVEY.

- LEGEND
- HISTORIC WALL
 - INTRUSIVE/NOT HISTORIC WALLS
 - EXTENT OF DAMAGE AT WALL
 - EXTENT OF DAMAGE AT THE CEILING

THIRD FLOOR ASSESSMENT PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL FLOOR PLAN NOTES

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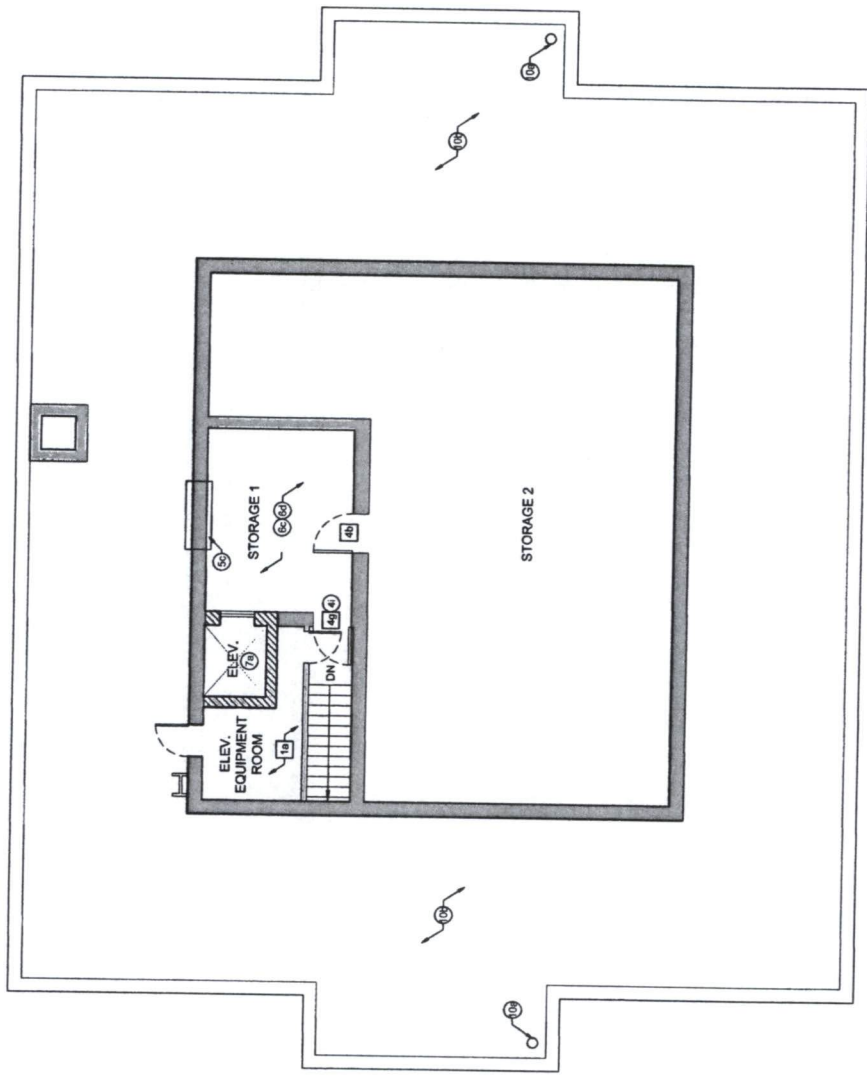
AS BUILT DRAWINGS WERE DEVELOPED USING THE ORIGINAL 2010 DRAWINGS AND THE 2018 FACILITIES CONDITIONS ASSESSMENT DRAWINGS BY RANDALL SCOTT ARCHITECTS WITH LIMITED FIELD VERIFICATION. CONSTRUCTION DRAWINGS MUST FURTHER CONFIRM THE ACCURACY OF THE DRAWINGS.

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FOR A DETAILED REPORT OF ROOM FINISHES, FEATURES, AND CONDITIONS, PLEASE SEE THE ROOM-BY-ROOM SURVEY.



LEGEND

- HISTORIC WALL
- INTRUSIVE/NOT HISTORIC WALL
- EXTENT OF DAMAGE AT WALL
- EXTENT OF DAMAGE AT THE CEILING

PENTHOUSE ASSESSMENT PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



ROOM	ELOOR				WALL				MILLWORK				CEILING				LIGHTING	DOOR	OTHER	ACCESSIBILITY	
	Exposed Concrete	Concrete w/ Paint	Intrusive Wood	Intrusive Resilient Tile	Intrusive Carpet	Molding	Base	Historic Smooth Plaster with Painted Finish	Historic Plaster w/ Comp. Coating	Historic Wood Paneling	Tile	Painted Brick	Drywall Stud Partition	Historic Deck	Applied Plaster	Historic Suspended Plaster					Susp. Plaster w/ Intrusive Coating
Basement																					
Corridor																					
Emergency Management Reception																					
Emergency Management Office																					
Cost Room																					
Storage 1																					
Storage 2																					
Storage 3																					
Storage 4																					
Storage 5																					
Storage 6																					
Electron Vestibule																					
Elections																					
Juvenile and Middle																					
Rooms Not Accessible																					
Women's WC																					
Janitor Supply Room																					
Boiler Room																					
Single WC Women																					
Single WC Men																					
Men's WC																					
South Stair																					
North Stair																					
GED Course																					
First Floor																					
Corridor																					
Entry Vestibules																					
County Judge Reception																					
County Judge Office																					
County Judge Closet																					
County Judge Hall																					
County Treasurer																					
Commissioners																					
Vault																					
North Stair																					
County Director Clerk																					
West Entry Vestibule																					
Main Stair																					
County Agents Office/Reception																					
County Deputy Treasurer																					
Supply Room																					
Tax Assessor & Collector																					
Tax Assessor's Vault																					

NOTE: Rooms that are blue filled were inaccessible during the Assessment Site Visits. Further assessment will be needed to determine the finishes in these rooms.

4. Restoration and Rehabilitation Recommendations



Restoration Philosophy

The Delta County Courthouse is a historic structure worthy of preservation and restoration. The County recognizes the building's rich history and hopes to honor the hands of the people who shaped it. The County also recognizes that the continued use of the building, now and in the future, has an impact on the surrounding courthouse square and community. The County's long-term goal is to preserve this legacy by sensitively restoring the Courthouse building, so the building can be functional for years to come.

Discussion about 1978 cladding

Secretary of the Interior's Standards

The future Delta County Courthouse restoration will follow the Secretary of the Interior's Standards for the Treatment of Historic Properties (Department of the Interior Regulations, 36 CFR 67). The Standards are a series of concepts about maintaining, repairing, and replacing materials on a historic building, as well as designing new additions or making alterations. They provide a framework and guidance for decision-making about improvements or modifications to a historic property. The Standards can be applied to historic properties of all types, materials, construction, sizes, and use. They include both the exterior and the interior and extend to a property's landscape features, site, and environment, as well as related new construction. The Standards are to be applied to projects in a reasonable manner, taking into consideration economic and technical feasibility.

The Standards offer four distinct approaches to the treatment of historic properties:

- **Preservation** - maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time.
- **Rehabilitation** - preservation + acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.
- **Restoration** - depicts a property at a period in its history, while removing evidence of other periods.
- **Reconstruction** - recreates vanished or non-surviving portions of a property for interpretive purposes.

Each treatment type incorporates eight to ten standards and has supporting guidelines for each standard that provides additional information. The full list of Standards for Restoration and Rehabilitation are included in Appendix H.

The future Courthouse project, although generally referred to as a restoration, will be a combination of each treatment. Where historic materials are intact, they will be preserved and restored. Where modern convenience is needed, such as heating/air conditioning or an electronic sound system, sensitive modifications will be made to the historic space following the rehabilitation guidelines. Where features are missing, they will be reconstructed from historic documentation.



Priority Spaces

It is the goal of the Texas Historic Courthouse Preservation Program to pursue a restoration approach returning the Courthouse as much as is possible to its original configuration and appearance. Spaces and building elements most often viewed by the public are considered primary, such as courtrooms, central corridors, and the exterior of the building. These spaces and elements will be restored. Secondary spaces, such as offices and other rooms not often viewed by the public, will generally be rehabilitated. Extant historic fabric will be preserved as much as possible while incorporating modern conveniences. Tertiary spaces, such as the basement and mechanical rooms, will also be rehabilitated, however, the design can be a bit more flexible to incorporate the required utilities and services.

The restored building must fit the needs of the County. Their perspective and requirements have been reviewed and integrated into the restoration plans. Although a space may be restored, its original use does not have to be maintained. Similarly, all spaces will include air conditioning, heating, lighting, and other added systems required by modern standards and contemporary comfort.

Public Spaces



Primary Spaces - Restore

Offices



Secondary Spaces - Rehab

Service Spaces



Tertiary Spaces - Flexible

Recommendations Summary

The recommendations found on the following pages were derived from the existing conditions assessment in Chapter 3 and tempered with the restoration philosophy described above. Overall, the Delta County Courthouse is in fair to poor condition and faces several significant challenges that could jeopardize the integrity of the building if not remedied in the near future. The following bullet points summarize the major issues. The subsequent Detailed Recommendations Matrix provides additional recommendations. The identified deficiencies are addressed in the recommendations and a phased plan of work has been crafted to properly address each issue while maintaining the historic integrity of the building.

The most significant challenges that the County faces at present are:

- **Severely Deteriorated Windows / Weatherproofing** – The County has repaired the roof, however, the Courthouse is not weatherproofed or water tight due to the condition of the windows. The original wood windows are intact, but in severe condition at most openings. This allows moisture and vapor migration into the building on a regular basis, which exacerbates deterioration at the interior finishes. Window restoration is urgently needed.
- **Elevator Functionality** – The County self-funded the installation of the elevator in the early 1980s and extended its service to the penthouse in the 1990s. However, the elevator has reached the end of its service life. Entrapments and fires have been a regular occurrence, and the elevator maintenance company has limited resources to repair the existing equipment. When the elevator breaks down, the County cannot utilize the District Courtroom on the second floor or the Commissioners Court room at the third floor and these services are temporarily moved out of the Courthouse. Replacing the elevator cab and mechanism is an urgent need to maintain accessibility.

The other notable deficiencies are:

- **Mechanical, Electrical, and Plumbing** – The MEP systems are reaching the end of their service life in most instances. The public gang restrooms at the basement are out of order and have been abandoned by the County. The remaining restrooms facilities are single users. Most do not meet code requirements and the fixtures and piping are deteriorated. The electrical system is not grounded throughout the building. The distribution panels and wiring are in poor shape. The mechanical system is a patchwork of mixed-matched equipment. The window units are old and deteriorated. Their installation causes damage to historic material. The VRF system is approximately a decade old but is only installed a few offices. Together, the mechanical equipment does not work as a holistic system that controls temperature properly and mitigates humidity. A restoration project will update all systems to make them functional for occupants without damaging or detracting from the historic structure.



- **Means of Egress** – The means of egress from the third and fourth floors is undersized. The design of the south stair does not meet code requirements and is a hazard to occupant life safety. The proposed floor plans illustrate a new stair design that can be implemented in a future restoration project.
- **Damage from Major Roof Leak** – The County replaced the severely deteriorated roof in early 2023. However, the interior damage caused by the major leaks has yet to be repaired. The spaces have dried out but are not currently in use. The structural components should be inspected at the third floor while exposed, then restoration and repairs should commence to get the spaces back into operational order.
- **General Wear** - The Courthouse has been regularly used by the County and the public for over eighty years. All floors, walls, ceiling surfaces and finishes are showing signs of deterioration from wear and tear over the years. The interior doors are also showing signs of deterioration. Repair and restoration of these elements is needed.

The deficiencies are fully addressed in this report with recommendations and a phased plan of work to properly address each issue while maintaining the historic integrity of the building.

Proposed Restoration Schematic Floor Plans

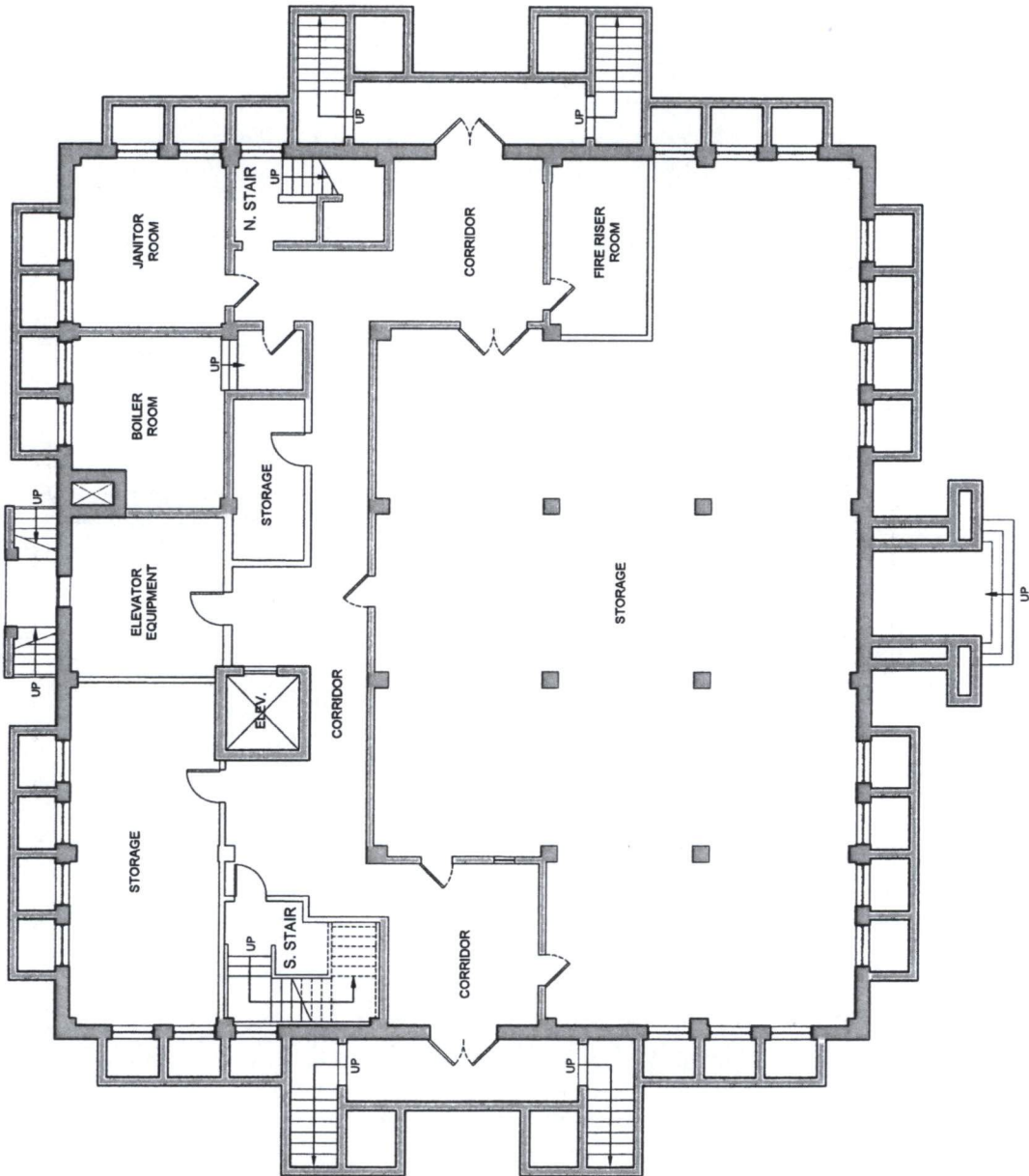
The Proposed Restoration Drawings provided on the following pages illustrate the recommended restoration floor plans. They illustrate the spatial changes necessary to restore the Courthouse, meet current code requirements, and fulfill the County's functional needs. Keep in mind, many of the recommendations for the future restoration of the Courthouse are repairs and refinishing of historic material that cannot be illustrated in a line drawing.



GENERAL NOTES

THESE DRAWINGS ILLUSTRATE THE PRELIMINARY SUGGESTED PLAN CHANGES DETAILED IN CHAPTER 2.

THE PURPOSE OF THESE CHANGES IS TO INCREASE USABILITY FOR THE COUNTY AND IMPROVE COMPLIANCE WITH THE 2018 INTERNATIONAL BUILDING CODE AND THE 2012 TEXAS ACCESSIBILITY STANDARDS.



LEGEND

- HISTORIC WALL
- PROPOSED NEW WALLS
- EXISTING DOORS (45° ANGLE)
- NEW DOORS (90° ANGLE)

PROPOSED BASEMENT PLAN

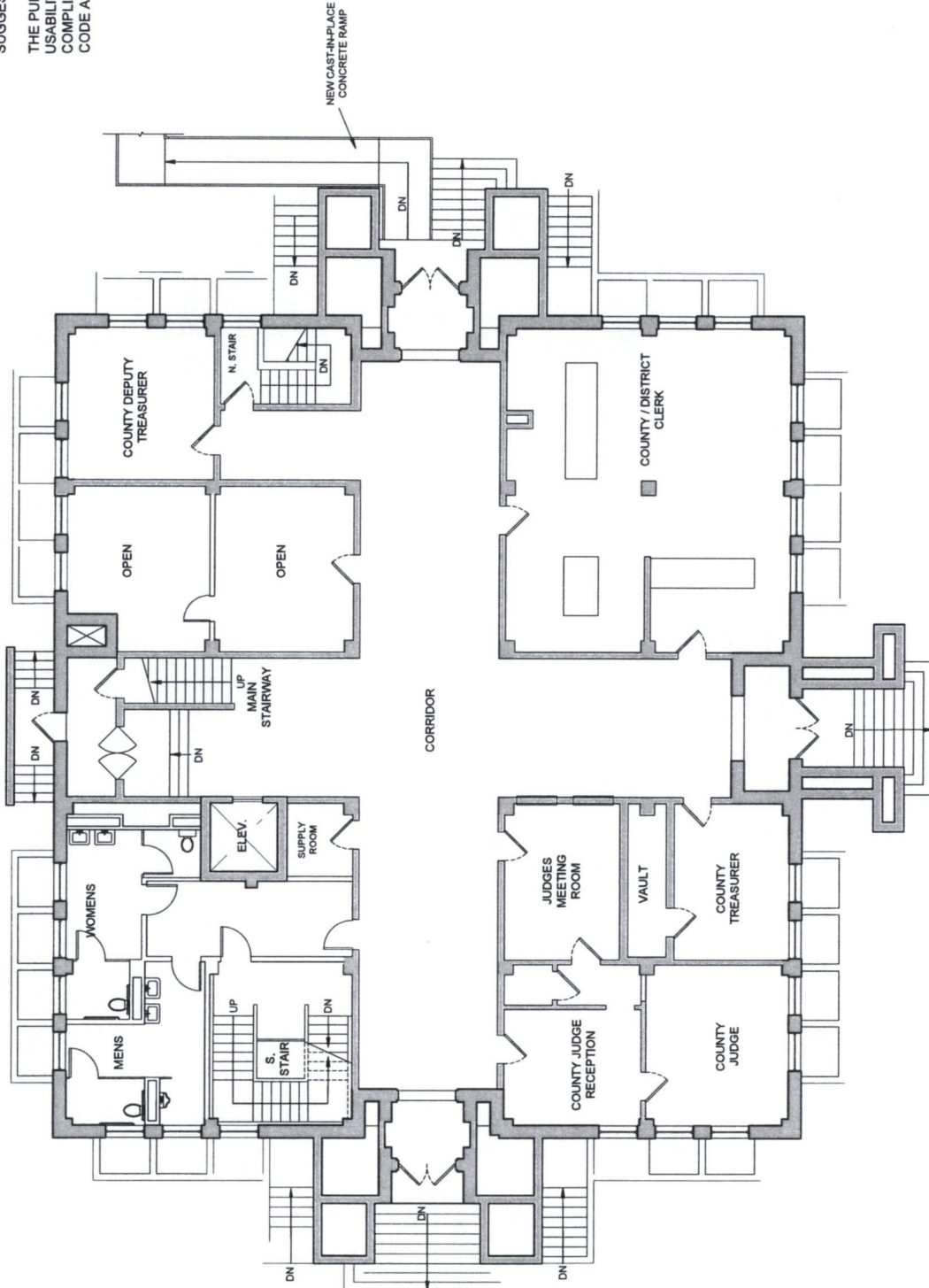
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL NOTES

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- LEGEND**
- HISTORIC WALL
 - PROPOSED NEW WALLS
 - EXISTING DOORS (45° ANGLE)
 - NEW DOORS (90° ANGLE)

PROPOSED FIRST FLOOR PLAN

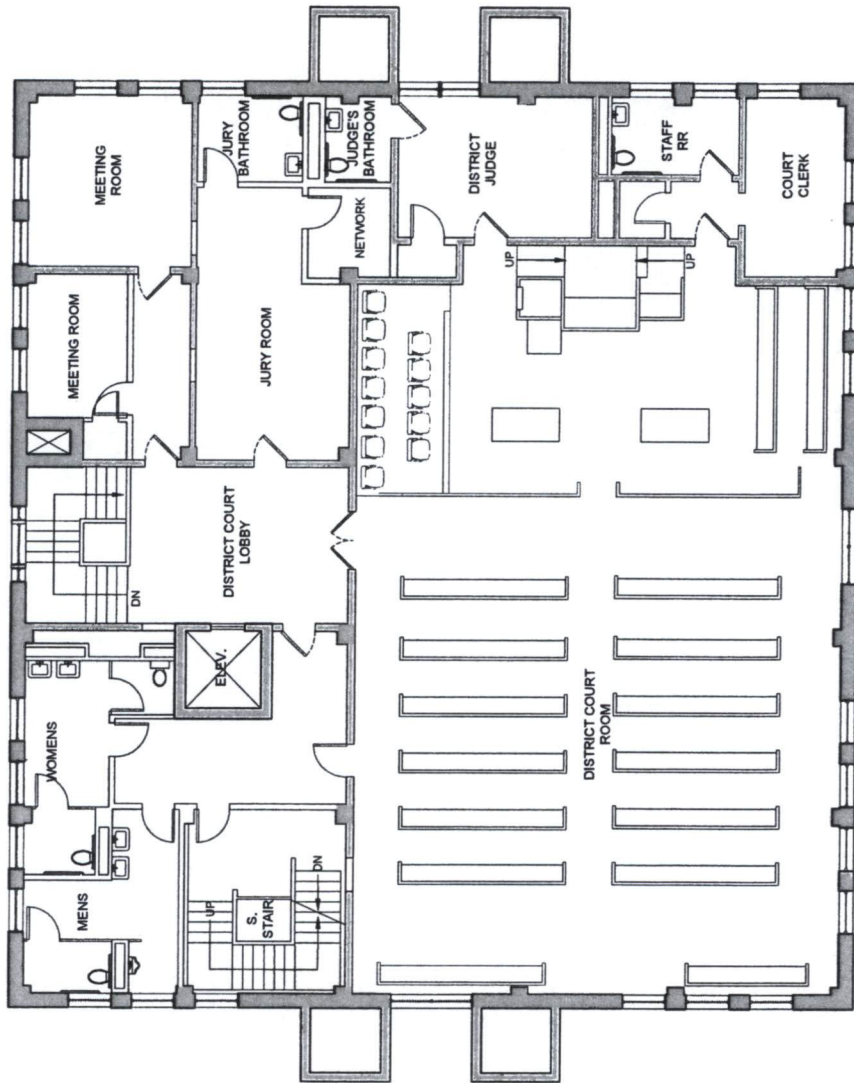
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL NOTES

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LEGEND

- HISTORIC WALL
- PROPOSED NEW WALLS
- EXISTING DOORS (45° ANGLE)
- NEW DOORS (90° ANGLE)

PROPOSED SECOND FLOOR PLAN

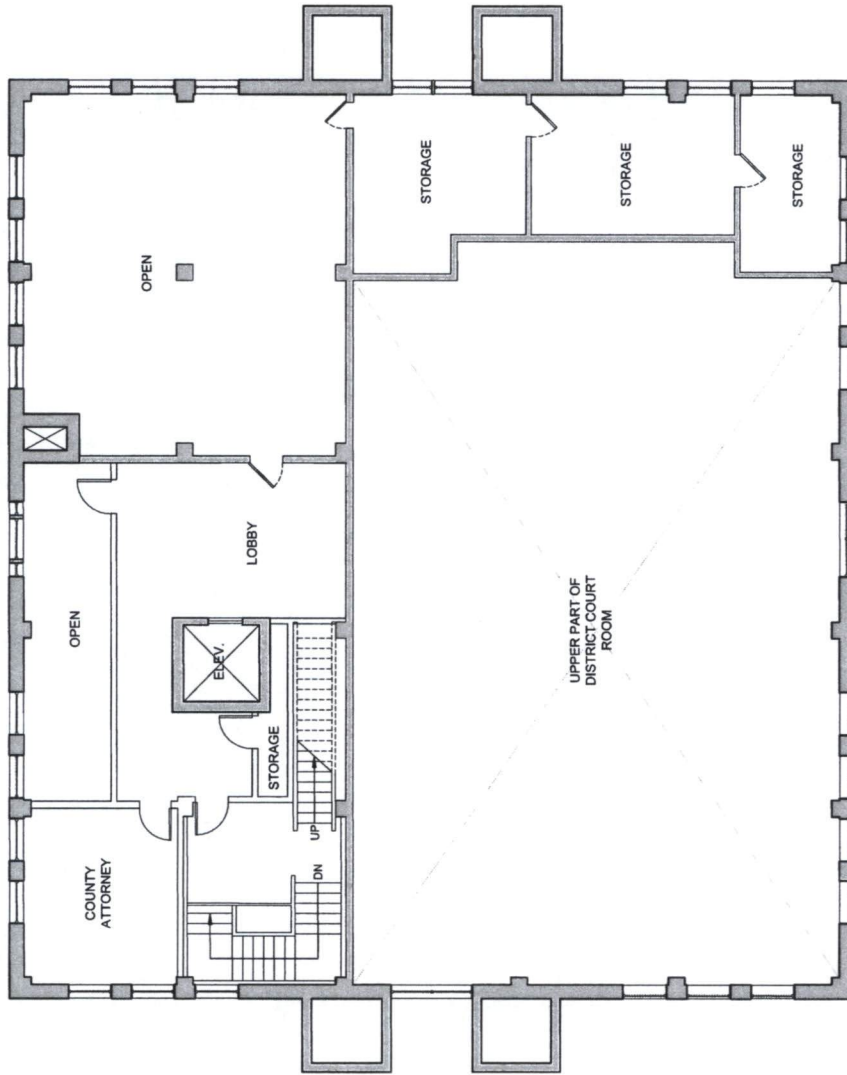
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL NOTES

THESE DRAWINGS ILLUSTRATE THE PRELIMINARY SUGGESTED PLAN CHANGES DETAILED IN CHAPTER 4.

THE PURPOSE OF THESE CHANGES IS TO INCREASE USABILITY FOR THE COUNTY AND IMPROVE COMPLIANCE WITH THE 2018 INTERNATIONAL BUILDING CODE AND THE 2012 TEXAS ACCESSIBILITY STANDARDS.



LEGEND

- HISTORIC WALL
- PROPOSED NEW WALLS
- EXISTING DOORS (45° ANGLE)
- NEW DOORS (90° ANGLE)

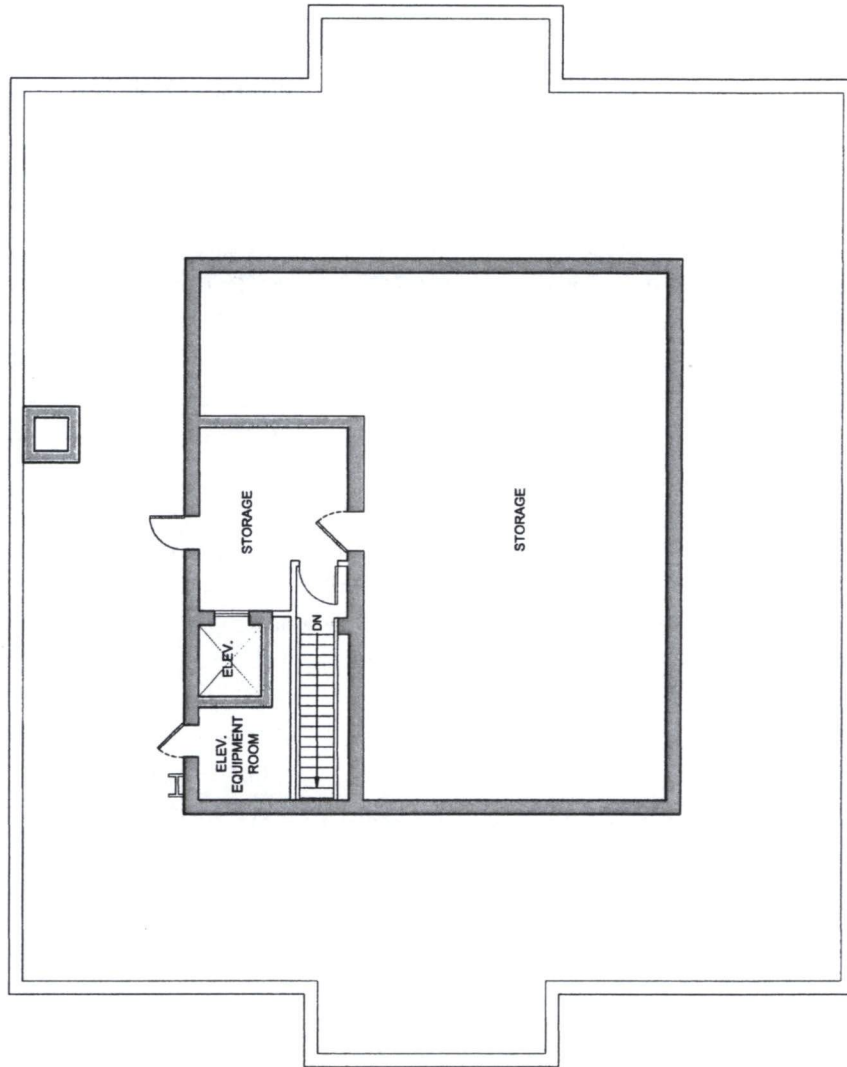
PROPOSED THIRD FLOOR PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



GENERAL NOTES

THESE DRAWINGS ILLUSTRATE THE PRELIMINARY SUGGESTED PLAN CHANGES DETAILED IN CHAPTER 10. THE PURPOSE OF THESE CHANGES IS TO INCREASE USABILITY FOR THE COUNTY AND IMPROVE COMPLIANCE WITH THE 2018 INTERNATIONAL BUILDING CODE AND THE 2012 TEXAS ACCESSIBILITY STANDARDS.



LEGEND

- HISTORIC WALL
- PROPOSED NEW WALLS
- EXISTING DOORS (45° ANGLE)
- NEW DOORS (90° ANGLE)

PROPOSED PENTHOUSE PLAN

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



Future Investigations

The recommendations given are based on years of field experience assessing historic structures. This experience also allows for a level of comfort in making educated guesses when necessary. However, some recommendations, when given, need the caveat that further analysis or testing is needed before making a final determination. This list covers some of those items that have been identified as requiring further testing in future phases before restoration work is undertaken.

- **3D Scan and As-Builts** – For accurate restoration construction documents, accurate as-built drawings will be needed. A 3D scan of the building can aid in accurate documentation moving forward.
- **Site Survey** - A site survey will need to be completed before construction documents can be undertaken. A site survey will provide the topography and slope of the site surrounding the courthouse. This information informs the design team on how well the site drains and if there are accessibility issues. It will also locate major utility connections, monuments, equipment, and other site elements in proximity to the building. A site survey must be done by a professional, qualified surveyor.
- **Hazardous Materials Study** - Lead paint and asbestos containing materials (ACM) are common in historic age buildings. Lead based paint is a toxic substance that was commonly used on the interiors and exteriors of historic buildings well into the second half of the 20th century. Its use in residential construction was banned in 1978. Lead based paint is found on such building components as: interior casing, windows, wall base, wainscots, areas requiring a high-gloss high wear finish, metals, and exterior wood. Lead can also be found in varnishes and window glazing putty. The material is harmful when presented in the form of paint chips or dust particles which can be ingested by people. In 1989 the EPA banned the use of asbestos containing materials which can be found in many forms such as: cement piping, cement wallboard, floor tile, sheet flooring, mastics, plaster, insulation, ceiling tile, thermal paper products, and fireproofing materials. The fibrous silicate materials in ACM products were utilized to improve thermal and tensile strength performance. The material is likely not harmful when contained or encapsulated but becomes dangerous when disturbed such as during construction. The health hazard associated with the material occurs when dust or fibers are inhaled. A hazardous materials (hazmat) consultant will be required to produce a report or construction documents for the removal of ACM materials and lead based paint.
- **Structural Analysis:** Several conditions were noted that indicate structural movement and deterioration. Exposed reinforcing was noted on several beams. A significant crack was also noted at the north vestibule at ceiling at the first floor. Water intrusion and corrosion are visible at the roof deck where the major roof leak damaged the Commissioners Courtroom. Further review by a professional structural engineer will help to determine the cause of these issues and develop solutions for future repairs.



- **Geotechnical Study:** Plumbing leaks have caused moisture retention at the north lawn. Soil settlement and instability was also noted around the perimeter of the building. A geotechnical study will confirm the water content and stability of the surrounding soil with hard data, which will aid in the structural investigation.

- **Plumbing and Drainage Investigation:** Major leaks have occurred at the water supply lines at the north and west sides of the building. So far, these leaks have been at the exterior of the building. A comprehensive study including scoping of all pipes and a hydrostatic pressure test should be considered to determine where future issues may arise so repairs can take place before issues arise. This should occur in the near future while the County plans for a full restoration.

- **Historic Finishes Conservation:** Floor, Wall, and Ceiling Finishes Identification - Over the years, the interior plaster finish texture and paint color have been changed numerous times. In addition, the coatings on the concrete floor in the public spaces throughout the building have also been altered. Further technical analysis will pinpoint the historically correct plaster composition, texture, and paint color. The analysis should compare the various wall, ceiling, and floor layers throughout the building to gain an accurate picture of the finishes.

Detailed Recommendations Matrix

The Detailed Recommendations Chart is a comprehensive list of site and building deficiencies discussed in the evaluation section of this Master Plan and the associated recommendations for restoration and repair. The chart breaks down the tasks required in each phase of work into line items. When all tasks are complete, the result will be a fully restored courthouse with MEP upgrades for modern convenience. Each line item includes the following column information:

CSI DIVISION – Indicates the Construction Specifications Institute (CSI) division for each task. The CSI format is the common way for design professionals and cost estimators to organize construction projects to develop opinions of probable cost and future construction documents and specifications.

- | | |
|------------------------------------|--------------------------|
| 1. General Requirements | 9. Finishes |
| 2. Site Work/Demolition | 10. Specialties |
| 3. Concrete | 11. Equipment |
| 4. Masonry | 12. Furnishings |
| 5. Metals | 13. Special Construction |
| 6. Carpentry | 14. Conveying Systems |
| 7. Thermal and Moisture Protection | 15. Mechanical |
| 8. Doors and Windows | 16. Electrical |



PRIORITY – Priority level indicates that the work should be planned for and undertaken in the following time frames:

- (U) Urgent: Now – 1 year
- (H) High 1-2 years
- (M) Medium 2-5 years
- (L) Low – 5-10 years

PHASE - Tasks are divided into seven suggested phases of work. These can be completed all at once or combined as needed:

- Phase 1 – Emergency Window Restoration and Elevator Replacement
- Phase 2 – Restoration Construction Document Development (THCPP Planning Grant)
- Phase 3 – Interior Restoration
- Phase 4 – Exterior Restoration

Deficiency – Description of the issue identified in the evaluation portion of the Master Plan.

Description of Repairs or Corrective Measures – Tasks need to fix, repair, or remedy the deficiency.

Historic / Intrusive – Notes if the element or material in question is original to the building or if it was added later. Historic refers to original material. Intrusive refers to items added later in the building's life.

Condition –The condition of each deficiency item assessed on a scale:

- (E) Excellent - the item requires no work; like new
- (G) Good - The item requires no immediate work; finishes show normal wear
- (F) Fair - The item is wearing or beginning to sustain damage/loss of finish; should be scheduled for periodic maintenance or repair
- (P) Poor - The item is sustaining damage of the base material; repairs and refinishing should be scheduled for the near future
- (S) Severe - The item has sustained a serious level of deterioration which poses imminent threat of loss of material; in the case of historic fabric the possibility is of greatest concern aside from the additional potential danger to occupants or users of the structures.

Responsibility – Professionals, Consultants, and /or Owner are indicated in the next to last column of the deficiency report and describe the professional services which may be required to achieve correction of each of the building deficiencies and who is responsible for completing the task.

- (A) Architect
- (C) Civil Engineer
- (DT) Design Team – Refers to entire team of architect and engineering consultant
- (HMC) Historic Materials Conservator
- (MEP) Mechanical, Electrical, and Plumbing Engineer
- (GC) General (Restoration) Contractor
- (O) Owner
- (OC) Owner Consultant
- (S) Structural Engineer
- (WC) Historic Window Consultant



RECOMMENDATIONS MATRIX		DEFICIENCY		Priority	Issue	Condition	Description of Repairs or Corrective Measures	Responsibility	Note/Comments
CD Division	Priority	Issue	Condition	Priority	Issue	Condition	Description of Repairs or Corrective Measures	Responsibility	Note/Comments
	U	1	Window Conditions Survey	H/I	P/S	Architect or Historic Window Consultant to fully survey the conditions of existing windows. Develop window assessment report that can be incorporated into the CDs as a supplemental information report and which the Architect can use to develop a comprehensive preservation/restoration program for the windows.	Architect or Historic Window Consultant to fully survey the conditions of existing windows. Develop window assessment report that can be incorporated into the CDs as a supplemental information report and which the Architect can use to develop a comprehensive preservation/restoration program for the windows.	A or WC	
	U	2	Plumbing & Drainage Investigation	-	-	Courthouse has experience severe leaks and deterioration of existing plumbing system at exterior of building and yard. Consultant to test and scope existing plumbing and drainage systems to predict future deterioration and issues.	Courthouse has experience severe leaks and deterioration of existing plumbing system at exterior of building and yard. Consultant to test and scope existing plumbing and drainage systems to predict future deterioration and issues.	OC	Owner furnished. Outside of A/E contract.
	H	2	Site Survey	-	-	No site survey available at the time of the Master Plan Update. At the outset of grant-funded CDs Phase, the Owner will proceed to have a comprehensive site topographical survey prepared.	No site survey available at the time of the Master Plan Update. At the outset of grant-funded CDs Phase, the Owner will proceed to have a comprehensive site topographical survey prepared.	OC	DT requested. Owner furnished. Outside of A/E contract. Provide at early stage CDs prep.
	H	2	Hazardous Materials Survey and Testing, Asbestos and Lead-based Paint.	-	-	Qualified environmental engineering firm to survey/test/assess for the presence of asbestos containing materials (ACM), lead-based paint (LBP), and other potential hazardous materials. Consultant to develop and document the above by locating the various types of hazardous materials. Report to include mapped findings on copy of floor plans that can be incorporated into the specifications.	Qualified environmental engineering firm to survey/test/assess for the presence of asbestos containing materials (ACM), lead-based paint (LBP), and other potential hazardous materials. Consultant to develop and document the above by locating the various types of hazardous materials. Report to include mapped findings on copy of floor plans that can be incorporated into the specifications.	OC	DT requested. Owner furnished. Outside of A/E contract. Provide at early stage CDs prep.
	M	2	Geotechnical Testing	-	-	Soil borings as required by structural engineer. Ground water observations as required.	Soil borings as required by structural engineer. Ground water observations as required.	OC	DT requested. Owner furnished. Outside of A/E contract. Provide at early stage CDs prep. included in A/E contract.
	M	2	Historic Materials Conservation	H	-	Historic Materials Conservator to identify historic finishes throughout the building. Analysis work to address all aspects and conditions of finishes to develop historically accurate room finishes and color schedule. The analysis work should also develop prioritization for restoration for the various finishes throughout the building. The analysis work should also identify areas of concern, such as: Courthouse, public spaces, private offices, toilet rooms and storage/mechanical/utility spaces. Conservator services to include but not limited to: and ceiling finishes, floor finishes, historic wood finishes, historic metal finishes, particular interest will be paid to historic plaster finishes and obscured wood floor finishes.	Historic Materials Conservator to identify historic finishes throughout the building. Analysis work to address all aspects and conditions of finishes to develop historically accurate room finishes and color schedule. The analysis work should also develop prioritization for restoration for the various finishes throughout the building. The analysis work should also identify areas of concern, such as: Courthouse, public spaces, private offices, toilet rooms and storage/mechanical/utility spaces. Conservator services to include but not limited to: and ceiling finishes, floor finishes, historic wood finishes, historic metal finishes, particular interest will be paid to historic plaster finishes and obscured wood floor finishes.	A/NMC	
	M	2	Historic Furnishings	H	F	Architect and/or Historic Materials Conservator to identify the non-fixed historic furnishings throughout the Courthouse that require repairing and refinishing pursuant to retreating and reuse in the restored Courthouse. This will include desks, desk chairs, benches or pews, table side chairs, decorative items including photographs, plaques, memorials, display items pertinent to the courthouse and County.	Architect and/or Historic Materials Conservator to identify the non-fixed historic furnishings throughout the Courthouse that require repairing and refinishing pursuant to retreating and reuse in the restored Courthouse. This will include desks, desk chairs, benches or pews, table side chairs, decorative items including photographs, plaques, memorials, display items pertinent to the courthouse and County.	A/NMC	
	H	2	Door Condition Survey	H/I	F/P	Architect or Historic Door Consultant to fully survey the conditions of existing doors. Develop door assessment report that can be incorporated into the CDs as a supplemental information report and which the Architect can use to develop a comprehensive preservation/restoration program for the doors.	Architect or Historic Door Consultant to fully survey the conditions of existing doors. Develop door assessment report that can be incorporated into the CDs as a supplemental information report and which the Architect can use to develop a comprehensive preservation/restoration program for the doors.	A or DC	Provide at early stage CDs prep.
	M	2	Code Analysis	-	-	Master Plan provides basic overview of code requirements. Further analysis needed. Architect and engineers will develop a comprehensive code analysis at the time of CDs preparation.	Master Plan provides basic overview of code requirements. Further analysis needed. Architect and engineers will develop a comprehensive code analysis at the time of CDs preparation.	DT	
	M	2	Fire Alarm/Fire Suppression Design	-	-	Architect and MEP to provide performance specification for system in CD development. If required, Owner to retain a Fire Suppression consultant to prepare a complete fire protection study at the initial stage of the CDs preparation.	Architect and MEP to provide performance specification for system in CD development. If required, Owner to retain a Fire Suppression consultant to prepare a complete fire protection study at the initial stage of the CDs preparation.	OC	Owner furnished. Outside of A/E contract.
	M	2	ADA/TAS Compliance Analysis	-	-	Architect to provide baseline ADA/TAS compliance analysis of the building during CD development. If required, Owner to retain accessibility consultant to inspect the courthouse and develop comprehensive survey of all deficiencies related to accessibility issues. Provide written report which can be incorporated by the Architect during development of CDs. Provide recommendations for variances applications commensurate with the MoU between TDUR and the THC for Accessibility.	Architect to provide baseline ADA/TAS compliance analysis of the building during CD development. If required, Owner to retain accessibility consultant to inspect the courthouse and develop comprehensive survey of all deficiencies related to accessibility issues. Provide written report which can be incorporated by the Architect during development of CDs. Provide recommendations for variances applications commensurate with the MoU between TDUR and the THC for Accessibility.	OC	Owner furnished. Outside of A/E contract.
	L	-	Termite and Pest Inspection	-	-	At Owner's discretion, Owner to retain reputable firm to provide services providing a full report and recommendations for treatment and mitigation of conditions.	At Owner's discretion, Owner to retain reputable firm to provide services providing a full report and recommendations for treatment and mitigation of conditions.	OC	Owner furnished. Outside of A/E contract.
	L	-	Courts Design Analysis	-	-	At Owner's discretion, Owner to retain courts consultant to provide planning including issues pursuant to acoustics, AV coordination.	At Owner's discretion, Owner to retain courts consultant to provide planning including issues pursuant to acoustics, AV coordination.	OC	Owner furnished. Outside of A/E contract.
	L	-	AV Design Analysis	-	-	At Owner's discretion, Owner to retain AV design consultant to develop analysis for Courthouse Interiors (District and Commissioners Courts) for audio/video.	At Owner's discretion, Owner to retain AV design consultant to develop analysis for Courthouse Interiors (District and Commissioners Courts) for audio/video.	OC	Owner furnished. Outside of A/E contract.
	L	-	Courthouse/Courts Security Consulting	-	-	At Owner's discretion, Owner to retain security specialist to fully coordinate courthouse security issues; provide analysis and recommendations for subsequent development of CDs planning.	At Owner's discretion, Owner to retain security specialist to fully coordinate courthouse security issues; provide analysis and recommendations for subsequent development of CDs planning.	OC	Owner furnished. Outside of A/E contract.
	H	2	Temporary Office Space	-	-	Owner to prepare temporary office space for County Staff while Courthouse Restoration in progress. Prepare and pack archived documents for offsite storage. Purge and consolidate unneeded storage space.	Owner to prepare temporary office space for County Staff while Courthouse Restoration in progress. Prepare and pack archived documents for offsite storage. Purge and consolidate unneeded storage space.	O	Owner furnished. Outside of A/E contract.
	M	2	Selective Demolition	-	-	If required, Owner to retain contractor(s) to remove, dismantle selected assemblies allowing observations to occur behind/beneath obscuring and intrusive finishes, assemblies, components. This phase can also include Exploratory Foundation Excavation to all DT to observe sub grade conditions. Allow cost for minimum two excavations.	If required, Owner to retain contractor(s) to remove, dismantle selected assemblies allowing observations to occur behind/beneath obscuring and intrusive finishes, assemblies, components. This phase can also include Exploratory Foundation Excavation to all DT to observe sub grade conditions. Allow cost for minimum two excavations.	GC	Record conditions for use in determination of structural and waterproofing requirements to be factored into the design. Coordinate with geotechnical for groundwater observations.
Division 02 - Demolition	02	-	General Demolition	-	-	The following intrusive or severely deteriorated elements will be removed from the site, exterior, and interior of the building:	The following intrusive or severely deteriorated elements will be removed from the site, exterior, and interior of the building:	GC	
	02	1	Accessible Route and Means of Egress	I	-	Remove intrusive metal ramp at north entrance	Remove intrusive metal ramp at north entrance	GC	
	02	1	Structural Repairs	I	-	Remove large dead tree at southwest corner of site.	Remove large dead tree at southwest corner of site.	GC	
	02	1	Detached Systems	I	-	Remove intrusive gutters, equipment, conduit, piping, and accessories.	Remove intrusive gutters, equipment, conduit, piping, and accessories.	GC	
	02	1	Intrusive Site Features	I	-	Remove intrusive benches at north and south walkways.	Remove intrusive benches at north and south walkways.	GC	
	02	1	Intrusive Site Features	I	-	Remove intrusive flagpoles at south lawn.	Remove intrusive flagpoles at south lawn.	GC	
	02	1	Intrusive Windows	I	-	Remove 11 intrusive aluminum windows.	Remove 11 intrusive aluminum windows.	GC	
	02	1	Intrusive Windows	I	-	Remove paneled at 2 covered windows.	Remove paneled at 2 covered windows.	GC	
	02	1	Intrusive Parapets	I	-	Remove intrusive cementitious coping at north, east, and south exterior porch steps.	Remove intrusive cementitious coping at north, east, and south exterior porch steps.	GC	
	02	1	Intrusive Coatings	I	-	Remove non-code compliant handrails at all exterior steps.	Remove non-code compliant handrails at all exterior steps.	GC	
	02	1	Non-Code Compliant Handrails	I	-			GC	

CD Division	Priority	Issue	Historic/Intrusive	Condition	Description of Repairs or Corrective Measures	Responsibility	Note/Comments
		DEFICIENCY					
02	M 4	Hazardous Materials			Refer DN: 04 for masonry options and required demolition.	GC	
02	H 3	Space Planning			Abate all hazardous materials throughout building per HazMat Report.	GC	
02	M 3	Deteriorated Systems			Remove intrusive partition walls at basement.	GC	
02	M 3	Deteriorated Systems			Remove deteriorated boiler at basement and associated piping, including steam and condensate piping, steam traps, and firewater pumps attached to system throughout building.	GC	
02	M 3	Deteriorated Systems			Remove boiler flue and cap at roof. Prepare flue to serve as vertical chase.	GC	
02	M 3	Space Planning / Code Compliance			Remove partition walls at first floor for redesign of former Tax Assessor's office as service space.	GC	
02	M 3	Space Planning / Code Compliance			Remove partition walls at second floor for redesign of former Justice of the Peace office as service space.	GC	
02	M 3	Intrusive Element			Remove intrusive drop ceiling at all offices and all floors.	GC	
02	M 3	Intrusive Element			Remove intrusive drop ceiling at District Courtroom.	GC	
02	H 3	Deteriorated Finishes			Remove deteriorated finishes at third floor ceiling from previous roof leak.	GC	
02	M 3	Code Compliance / Means of Egress			Reopen window at west wall of penthouse for new egress door.	GC	
02	M 3	Code Compliance / Means of Egress			Remove entirety of non-code compliant south stair.	GC	
02	M 3	Code Compliance / Means of Egress			Get shaft opening at each floor for redesign of south stair.	GC	
02	M 3	Intrusive Finish			Remove interior finish throughout building. Remove intrusive skin coat at all walls and ceilings to historic finish per Finishes Conservator's recommendations.	HMC/GC	
02	M 3	Deteriorated Systems			All existing HVAC equipment to be removed/demolished. Remove all wall mounted and window mounted HVAC units at all floors. Remove all associated ducts, wires, piping, etc. Salvage electrical services to be removed/demolished. Remove all existing electrical service switch gear, branch panels, receptacles, and distribution conduit / wiring.	GC	Note at the time of this report, County was working with consultant to rewrite existing light fixtures and upgrade to LED bulbs. This work should be maintained in a future restoration.
02	M 3	Deteriorated Systems			Remove all existing plumbing service to be removed/demolished. Remove all plumbing fixtures, piping, toilet partitions, and accessories at all existing restroom facilities.	GC	
02	M 3	Code Compliance			Remove non-code compliant water fountain at second floor.	GC	
02	M 3	Deteriorated Utility Connections			Provide all new water and sewer connections from public main. Provide all new electrical transformers from service provider.	MEP/C	
02	M 4	Earthwork and Grading			Regrade all surf areas for positive drainage away from building.	C	
02	H 4	Sidewalk Restoration			Replace deteriorated sidewalks at north lawn, approximately half of surface area. Replace metal culvert at northeast sidewalk and parking connection.	C	
02	L 4	Historic Monuments and Markers			Protect Monuments/Markers throughout construction operations. Relocate off site if necessary.	A	
02	H 4	Parking Pavement / Striping			Level and repave existing parking area and associated driveways adjacent to Courthouse. Provide all new painted striping at pavement. Provide signage and striping for two accessible parking spaces.	C	Ensure that accessible parking spots are properly sloped marked, and striped accordingly to ADA requirements.
02	L 4	Landscaping			Replace turf where damaged from treefalling.	C	
02	L 4	Irrigation			Provide irrigation system for courtyard.	C	
02	L 4	Lack of Dumpster			Provide a dumpster and enclosure at parking area to service Courthouse.	C	
02	L 4	Structural Repairs			Repair deteriorated concrete beams at third floor ceiling damaged in previous roof leak. Structural to review concrete structure during CD development and selective demo for additional repair scope.	S	
03	M 3	Structural Modifications			Provide new cast-in-place concrete landings at interior south stair.	S	
03	M 3	Exterior Accessibility Ramp			Demolish existing metal ramp. Reconstruct cast-in-place ramp in the same location to conform to TAS requirements for slope, landings with concrete curb/retaining walls similar to existing. Install new guardrail and TAS compliant handrails.	A	
03	M 4	Historic Porch Steps			Remove intrusive faux wood coating at north, east, and south exterior porch steps. Restore original concrete finish of stairs.	A/S/C	
03	-	Other			Refer DN: 02 for site related concrete work.	-	
04	M 4	Historic Cast Stone Base, Porch Cheek Walls, and Base Stone Repair			Remove intrusive paint coatings down to original cast stone surface. Repoint and clean entire cast stone base.	A	Chemical, heat, or low pressure power washing are acceptable means of paint removal. Do not blast masonry to remove paint.
04	M 4	Cast Stone Repair			Repair cracks at north porch cheek walls and associated plasters.	A	
04	L 4	Base Bid - Brick Cladding			Maintain 1970s brick cladding. Clean entire brick surface using non-abrasive methods including chemical cleaning and low pressure power washing. Report empty or deteriorated joints. Include styward joints and 20% of surface area for base bid.	A	
04	L 4	Add All - Restore Original Cladding			Remove 1970s brick cladding and cast stone belt courses, keystone, sills, and cornice. Maintain historic cast stone base. Install new cast stone cladding and anchoring system to mimic historic masonry redesign.	A	
05	M 3, 4	Structural			Structural to review condition of all floor and window lintels. Repair or replace. Prime and Paint.	S	
05	M 3	North Stairway			Provide thin gauge steel framing at all new partition walls. Refer floor plans.	A/S	
05	M 3	South Stairway			Install new steel stress assembly from basement to penthouse as illustrated on floor plans.	A/S	
05	M 3, 4	Handrails			Provide new steel handrails at all exterior and interior stairs per ADA/TAS.	A/HMC	
05	M 3	Vault Doors			Restore and recondition vault doors. Approximately 3.	A/HMC	
06	M 3	Finish Carpentry			Review survey all interior woodwork including picture molds, base trim, door/window trim, and wood paneling (District Courtroom) for verification of historic capacity and damage and/or loss. Provide survey of all woodwork. Document all historic for application. Original woodwork to extent to most location.	A/HMC	
09	M 3	Wood Base, Chair Rail, Other Trim			Maintain existing wood base, chair rail, and other trim. Where missing, reconstruct missing components. Provide detachmen where needed to provide cabinets and built-in per floor plans and County requirements.	A/HMC	Architect to review County's functional needs during CD development.
06	M 3	Casework			Refer Div. 12 for historic courthouse built-ins and furniture.	A	
07	L 4	Roofing and Flashing			Maintain existing roofing at main roof and penthouse.	A	Roofing was replaced in 2023.
07	L 4	Roof Drainage System			In CD development, investigate condition of integrated roof drainage system. Design Team to calculate roof drainage requirements and add additional downspouts if needed.	A/MEP	Protect existing roofing material during construction.
07	L 4	Basement / Anways Drainage System			In CD development, investigate condition of anways and basement drainage system. Design Team to calculate drainage requirements and replace plumbing.	A/MEP	

Priority	Phase	DECIENCY	Historic/Intrusive	Condition	Description of Repairs or Corrective Measures	Note/Comments
07	L 4	Foundation Waterproofing	-	-	Trench perimeter of building and cast foundation wall with benolite clay approximately 6' below grade. Install below grade french drainage / storm water management system, back fill trench and repair landscaping as required.	A/C/MEP
08	H 1 or 2	Door and Window Restoration	H	F-S	Survey all doors and windows for damage and/or loss. Provide survey of all door and window hardware. Document historic elements. Note where replication is needed. Ensure that doors meet ADA/FAS clear width requirements.	A
08	L 4	Base Bld. Exterior Doors	-	-	Maintain existing aluminum entry (north, south, east) doors and transoms. Repair as needed. Replace deteriorated west door with new hollow metal door and frame.	A
08	M 3	Add Alt. Exterior Doors	H	F	Remove existing entry (north, south, east) doors, frames, and transoms. Reconstruct all entry doors and transoms to match historic photographs. Match species, grain, color and finish. Recondition historic hardware to operate like new. Refer Historic Materials Conservator's report.	A/PHMC
08	M 3	Existing Interior Wood Doors	H	F	Install new doors at locations indicated on Proposed Floor Plans. New door design to be compatible with historic context.	A
08	H 1	Exterior Wood Windows	H	S	Restore all existing wood windows to like new, operable condition. Remove existing paint down to bare wood. Remove existing glazing putty. Repair wood, glass, ropes, weights, pulleys, and other hardware as needed. Repair frame as needed. Prime, paint all wood surfaces. Install weatherstripping. Where windows are in severe condition, reconstruct new wood frame and sashes to match existing.	A
08	H 1	Exterior Replacement Windows	I	P	Reconstruct (11) new wood windows to match existing at locations where intrusive window has been removed. New windows should match original in kind including wood species, grain, profile, operation, and hardware.	A
08	H 1	Interior Storm Windows	-	-	Install interior storm windows at all exterior window locations to reduce solar heat gain and/or reduce sound transmission. Storms must be attached via pressure fit or weights, pulleys, and other hardware as needed. Repair frame as needed. Prime, paint all wood surfaces.	A
08	M 3	Interior Windows	H	F	Restore all existing wood windows to like new, operable condition. Remove existing paint down to bare wood. Remove existing glazing putty. Repair wood, glass, ropes, weights, pulleys, and other hardware as needed. Repair frame as needed. Prime, paint all wood surfaces.	A
Division 09 - Finishes						
Note the finishes outlined below are pertinent to all interior spaces and are meant to be general and descriptive of the overall restoration program.						
09	M 2	Finishes Restoration	-	-	Develop survey and working drawings to identify finishes to be demolished or replaced/preserved and repaired. Identify substrates requiring replacement or repairs.	A/PHMC
09	M 3	Concrete Floors	H	F-G	Survey existing concrete floor for cracks or defects. Historic Materials Conservator to verify original finish. Repair cracks and damaged areas. Remove intrusive coatings and refinish to match historic appearance.	A/PHMC
09	M 3	Concrete Stairs	H	F	Repoint all concrete main and north stairs. Refinish according to Historic Materials Conservator's report.	A/PHMC
09	M 3	Wood Tile Flooring	I	F-S	Historic Materials Conservator to survey existing tile flooring, remove intrusive vinyl tile flooring at all offices and courtrooms. Restore original flooring.	A/PHMC
09	M 3	Faux Wood Flooring	I	F	Remove faux wood flooring where excess. Restore original flooring.	A/PHMC
09	M 3	Carpet	I	P	Remove intrusive carpet at offices and District Courtroom. Restore original flooring.	A/PHMC
09	M 3	Plaster Walls	H	F-S	Repair deteriorated plaster. Repair in conjunction with trenching for electrical service. Composition to match historic mixture. Refinish, paint. If intrusive texture is present, removed and replicate historic finish. Typical throughout building.	A/PHMC
09	M 3	Drywall	-	-	Provide drywall at all new interior partitions as illustrated on the Proposed Floor Plans. Drywall finish to match historic plaster in kind. Provide moisture resistant drywall at restrooms.	A
09	M 3	Tile Wainscot	H	G	Maintain historic tile wainscot at first and second floor central corridors and main stair. Clean and polish.	A/PHMC
09	H 3	Wood Paneling	H	F-P	Inspect the wood paneling in west vestibule.	A/PHMC
09	M 3	Wood Base, Chair Rail, Other Trim	H	F-P	Maintain historic wood base, chair rail, trim, etc. Repair as needed. Refinish, where appropriate, to match original historic paneling.	A/PHMC
09	M 3	Intrusive Acoustic Grid Ceiling	I	P	Remove all acoustical drop ceilings at all courtrooms and office spaces. Typical throughout building.	A/PHMC
09	M 3	Plaster Ceiling	H	F	Repair, restore, paint original plaster ceilings at all spaces. Repair in conjunction with installation of MEP equipment. Typical throughout building.	A/PHMC
09	M 3	Deteriorated Plaster Ceiling	H	S	At District Courtroom and former Commissioners Court at third floor, plaster ceilings have been severely damaged by a previous roof leak. Remove damaged plaster down to substrate. Repair in kind. Paint to match adjacent finishes.	A/PHMC
09	M 3	Ceramic Tile	H	S	Building Code requires that all restrooms have waterproof finishes. Install new ceramic tile at floor and walls at all restrooms.	A
09	M 3	General Painting	H	F-S	All walls and ceilings throughout building to receive new paint per Historic Materials Conservator's report.	A/PHMC
09	M 3	Decorative Paint	H	F-S	If found by Historic Materials Conservator, restore decorative paint.	A/PHMC
09	M 3	Decorative / Ornamental Plaster	H	F-S	If found by Historic Materials Conservator, restore decorative plaster work.	A/PHMC
Division 10 - Specialties						
10	M 3	Tables, Partitions and Accessories	I	P	Install all new table partitions, grab bars, and associated toilet room accessories at all restrooms.	A
10	M 3	Building Structure and Storage	I	P	Repair all wood joists at first floor corridor to remain. Protect during construction, store, and reinstall.	A
10	M 3	Specialty Storage Systems	I	P	Restore all historic furniture items, remove and store all impossible furniture items.	A
10	M 3	Fire Extinguishers	I	F	Install new fire extinguishers and cabinets at each level per building code.	A
Division 11 - Equipment - Not Used. Typically not allowable for HCEP Grant Funding.						
Division 12 - Furnishings						
12	M 2	Historic Courtroom Furniture	-	-	Document historic furnishing throughout building to include District Courtroom Benches, Railings, Judge's Bench, and Jury Box / Seats. Develop program for retention and protection of all built-in items; remove and store all moveable furniture items.	A/PHMC
12	M 3	-	H	F	Restore all historic furniture items.	A
12	M 2	Historic Office Furniture	H	F	Document historic furnishing throughout building to include counters, built-in, large metal storage tables, and other historic office furniture. Develop program for retention and protection of all built-in items; remove and store all impossible furniture items.	A/PHMC
12	M 3	Historic Window Treatments	H	F	Restore all historic furniture items, remove and store all impossible furniture items.	A
12	M 3	-	H	F-P	Document presence of historic window treatments. If any exist.	A/PHMC
12	M 3	-	H	F-P	Restore salvagable historic window treatments. Replicate missing or damaged window treatments where required.	A

CD Division	Priority	Phase	DEFICIENCY	Historic/Intrusive	Condition	Description of Repairs or Corrective Measures	Responsibility	Note/Comments
Division 13 - Special Construction	M	4	Lighting Protection	-	-	Install lightning protection system at Courthouse roof.	A/MEP	
13	M	3	Fire Suppression System	-	-	Install all new fully automatic sprinkler system throughout the building. Locate and install new riser pipe and fire riser to supply system.	A/MEP	An automatic fire suppression system is required by code based on occupancy type of the building. Consult with fire department to determine when this system must be installed. Conceal system including sprinkler heads at first - third floors. Backflow preventer to be exposed.
13	M	3	Fire Detection and Alarm System	-	-	Install all new fire detection and alarm system, and emergency lighting throughout the building.	A/MEP	Incorporate all wiring into electrical wall trenches.
14	H	1	Base Rtd. Elevator	I	S	Maintain existing CMU shaft. Install new ADA/ATIS compliant electric traction, machine-roomless elevator cab and mechanism per manufacturer's standards.	A	
14	H	1	Add Alt. Elevator	I	S	Remove existing elevator and shaft. Construction new, larger CMU shaft with ADA/ATIS compliant electric traction, machine-roomless elevator cab and mechanism per manufacturer's standards.	A	
Division 15 - Mechanical								
15	M	3	Plumbing	I	S	The current restroom layout does not meet code requirements or the County's functional needs. The piping restrooms at the basement are out of commission, which leaves two single user restrooms at the basement and second floor to support the building. The proposed floor plans illustrate new restroom facilities that meet the code required fixture count based on occupancy.	MEP	All fixtures must be ADA compliant and toilets should be low flow. Existing fixtures are not historic. Refer Div. 09 for finishes.
15	M	2	-	-	-	Design Team to verify pertinent Building Code and Texas Accessibility Standards during CD development.	DT	
15	M	3	Lack of Hot Water	I	S	Install all new fixtures including urinals, toilets, and lavatories.	A/MEP	All fixtures must be ADA compliant and toilets should be low flow. Existing fixtures are not historic.
15	M	3	Restroom Ventilation	-	-	Install circulating hot water system at basement to serve all restrooms at all floors.	MEP	
15	M	3	Code Compliant Water Fountains	-	-	Install exhaust systems at all restrooms.	MEP	
15	M	3	Code Compliant Water Fountains	I	S	Install new RVV heat pump HVAC system throughout building. Conceal all equipment and accessories. Mount condensing units at roof. Conceal refrigerate, condensate, and piping at interior walls and ceiling. Connect condensate lines to code compliant drainage system.	MEP	Structural to verify that mechanical installations do not compromise existing structure, to include floor deck boring and load capacity of roof.
15	M	3	Heating, Ventilation, and Air Conditioning	I	S	The electrical service to the Courthouse is supported by the existing, pole-mounted transformer at the west side of the building. MEP to consult service provider to determine if transformer requires upgrading during CD development.	MEP	
16	M	3	General Electrical Service and Distribution	I	P	The main distribution panel currently mounted to the exterior of the building. Remove. Install new at basement mechanical room.	MEP	
16	M	3	-	-	-	All electrical sub-panels and distribution system to be removed. All new wiring and devices will be installed to support power distribution in the restored courthouse configuration. Receptacles to be coordinated with interior space plan for convenience. Incorporate all wiring into electrical wall trenches to be concealed. Note that partition walls are comprised of terra cotta structural tile. Coring of concrete floor slab will be required at some locations for floor receptacles. Provide power to existing millwork to conceal equipment.	MEP	Structural to verify that electrical installations do not compromise existing structure, to include floor deck boring and load capacity of roof.
16	M	3	-	-	-	Install differentiated but compatible light standards throughout site for added illumination, approximately 3 poles at both the north and south lawns.	MEP	
16	H	4	Lack of Exterior / Site Lighting	-	-	Survey all spaces to document locations of extant historic light fixtures. Evaluate condition.	A/MEP	Note at the time of this report, County was working with consultant to rewire existing light fixtures and upgrade to LED bulbs. This work should be maintained in a future restoration.
16	M	3	Interior Lighting	-	-	Restore all historic light fixtures. If fixtures are missing, replicate to match historic.	A	
16	M	3	Data and Communications Systems	I	P	All new data lines and rough-in to be incorporated into restoration design. Telecommunications and internet equipment for all offices and audio/visual systems for Courtrooms should be contained and hidden as part of this phase. Upgrades to existing systems will be further delineated with County and consultants in Phase 2.	MEP	
16	H	3	Lack of Security System	-	-	Install new security cameras, and intrusion alarm system throughout building.	MEP	Incorporate all wiring into electrical wall trenches.
16	H	3	-	-	-	Install new/metal detector and security station at main public door.	MEP	Station must not interfere with historic fabric of corridor.
16	M	3	Audio-Visual System	I	P	A/E fee for CD development includes a performance specification for A/V systems. If additional analysis and design is required, Owner to consult third party A/V designer to develop scope of work.	A/OC	

Phased Scope of Work

It is important for Delta County to have a functioning courthouse that serves the needs of their constituents and staff. Their ultimate and long-term goal is a restored courthouse with the next highest priority being to ensure that the building is safe, comfortable, and accessible for all occupants. Delta County explicitly required that recommendations for future work be broken down into attainable and conscientious of their realistic budget. This mindset has set the tone for the entire master plan.

The recommendations described in this section have been broken down into four primary phases of work. The phases are ordered based on immediate need and the feasibility of moving staff off site. Each phase is sized based on estimated cost and funding limitations. The County will use these phases moving forward in their strategic planning efforts and budget cycles. If need be, phases can be grouped together, broken down further, or reordered. Once all phases are complete, the Courthouse will be restored. Dates and timelines will be applied as phases are taken on by the County. Priority level indicates that the work should be planned for and undertaken in the following time frames:

- Urgent: Now – 2 years
- High: 1-2 years
- Medium: 2-5 years
- Low: 5-10 years

The Scope of Work is intended to be a concise and clear organizational tool for the Commissioners Court. The Detailed Recommendations Matrix provides additional information for each phase described in the summary.

Phase 1: EMERGENCY – Window Restoration and Elevator Replacement

Priority – Urgent

Addresses all documentation work by owner, architects, and engineers necessary to develop project plans and specifications for the scope of work. In this Phase, apply for THCPP Emergency Grant funding to implement.

- Div. 2 Demo – Remove intrusive aluminum windows. Remove elevator cab and mechanism.
- Div. 5 – Repair / restore all window lintels.
- Div. 8 Windows – Repair / restore exterior wood windows. Reconstruct those severely deteriorated or missing. Provide interior storm windows at all instances.
- Div. 9 Finishes – Repair / restore all disturbed finishes.
- Div. 14 Conveying System – Install new TAS compliant elevator cab and mechanism. Maintain existing shaft if allowed.

Phase 2: Restoration Construction Document

Priority – Urgent

Addresses all documentation work by owner, architect, and engineers necessary to develop plans and specifications for the remaining phases of work. This phase will result in a full restoration plan for the Courthouse. In this Phase, apply for THCPP Planning Grant funds to implement. Application may be combined with Phase 1.



Phase 3: Interior Restoration

Priority – High

Restore the Courthouse interior. Temporary office facilities must be found by the County prior to the start of this phase. This phase will reference the documents prepared in Phase 2.

- Div. 2 Demolition – Remove all hazardous materials. Remove MEP systems in full at exterior and interior. Remove deteriorated acoustical grid ceilings. Remove intrusive partition walls. Remove intrusive finishes.
- Div. 2 Site Work – Provide all new MEP connections.
- Div. 3 Concrete – Repair concrete structure as required.
- Div. 5 Metals - Install thin gauge steel studs at new partition walls per restoration plans. Repair / restore all door lintels. Install code compliant handrails at remaining stairs. Install new steel south stair. Restore all vault doors.
- Div. 6 Carpentry – Restore all existing, historic woodwork. Provide new cabinets and built-ins where required.
- Div. 8 Doors and Windows - Repair existing interior doors to remain. Restore existing interior windows to remain. Provide new doors to where required to match historic in kind.
- Div. 9 Finishes – Restore all floor, wall, ceiling finishes.
- Div. 10 – Install all new toilet partitions, signage, and fire extinguishers.
- Div. 12 Furnishings – Restore all historic Courtroom and office furniture. Install period appropriate window treatments.
- Div. 13 Special Construction – Install new automatic fire suppression system and fire detection / alarm system.
- Div. 15 Plumbing – Install all new piping, fixtures, and associated elements. Install all new HVAC equipment and associated elements.
- Div. 16 Electrical – Install all new panelboards, wiring, conduit, and receptacles.

Phase 4: Exterior Restoration

Priority – Medium

Restore the exterior of the building at all elevations.

- Div. 2 Demolition – Remove exterior ramp. Remove dead trees. Remove intrusive benches.
- Div. 2 Site Work – Regrade all turf areas. Repair / replace deteriorated sidewalks. Repave and stripe parking areas. Repair irrigation. Provide dumpster and enclosure.
- Div. 3 Concrete – Provide exterior concrete ramps. Restore finish of porch steps. Repair areaways.
- Div. 4 Masonry – Remove intrusive paint and coatings. Repair cracks at cast stone porches. Repoint deteriorated mortar joints. Clean all elevations.
- Div. 5 Metals – Replace exterior handrails.
- Div. 7 Thermal / Moisture Protection – Maintain primary roof based on condition at time of restoration. Replace roof if required at porch projections. Repair / replace roof drainage. Repair / replace areaway drainage. Waterproof foundation.
- Div. 8 Doors and Windows – Repair / restore exterior doors.
- Div. 13 Special Construction – Provide lightning protection.



DRAFT



Riddle & Goodnight Inc.**Construction Cost Estimates / Construction Specifications**

1155 Mary Drive

Weatherford, Texas 76085

817.946.7825

www.riddle-goodnight.com**PROJECT: Delta County Texas Courthouse - Masterplan****Architect: Komatsu Architecture****DATE: December 18th, 2023****OPINION OF PROBABLE COST - OVERVIEW**

This Opinion of Probable Cost (OPC) has been prepared at the request of Komatsu Architects for the purpose of establishing an opinion of probable cost for the Delta County Courthouse located at 200 W. Dallas Avenue Cooper, Texas 75432

The OPC utilizes the Construction Specification Institute's 16 Division Format to categorize the building's construction components on a unit cost basis in accordance with recognized construction industry standards.

The OPC has been prepared using information provided by the project's Architect and his consultants. The level of detail and the accuracy of the pricing used are consistent with the current completeness of the Drawings, Specifications, and other documents provided to us for use in preparing the OPC. Assumptions were made with respect to the quality of some construction materials, the risk of unforeseen project conditions, and unknown quantities not currently identified or anticipated on the Drawings.

Unit costs used in the OPC are based on current industry pricing published by nationally recognized data providers in the construction industry. Location factors have been incorporated to track the Delta County, Texas area in the 4th quarter of 2023.

General Contractor and subcontractor bonds, overhead & profit are included. General Conditions, mobilization, insurance, and bond are included.

An estimating contingency of 15% is included for unknown conditions that will be encountered.

State of Texas material sales tax is excluded.

Escalation for predicted inflation costs are excluded.

Items which are not in this OPC include, but are not limited to:

- Professional design and consulting fees
- Program or project budgetary expenses incurred by the Owner
- Owner's field testing costs
- Owner-furnished items other than the finishing and relocation items listed in Division 12
- Cost factors for work acceleration or bonus incentive clauses

Items which could change the OPC include, but are not limited to:

- Modifications to the scope of work detailed in this OPC
- Unforeseen sub-surface site conditions
- Restrictive technical specifications or excessive contract conditions
- Non-competitive bids received by Owner due to location and nature of the project
- Contractor methods of construction
- Construction time limitations imposed by Owner
- Excessive weather conditions prohibiting construction activity

This Opinion of Probable Cost has been based upon competitive bid situations for all items of subcontracted work and a minimum of 3 competent bids being received from General Contractors. *Guaranteed-Maximum, CM-at-Risk or other construction procurement methods the Owner might employ should be reviewed and evaluated.*

Riddle and Goodnight Inc. has no control over the cost of labor and materials, the General Contractor's or any subcontractor's method of determining prices, or competitive bidding and market conditions. This OPC is made on the basis of the experience, qualifications, and best judgement of a professional consultant familiar with the construction industry, utilizing accepted principles and practices. Riddle and Goodnight, Inc. cannot and does not guarantee that proposals, bids, or actual construction costs.

Construction Cost Estimates	Riddle & Goodnight Construction Specifications	Estimate Phase: Master Plan
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Delta County Courthouse 200 W. Dallas Avenue Cooper, Texas 75432	Total Area, GSF: 23,831
MASTER PLAN - COST SUMMARY	
Architect: Komatsu Architecture	Date: 12/18/2023

Division	Work Description	Amount	\$/SF
1	General Requirements	See 12.5% below	\$ -
2	Existing Conditions/Demolition, Abatement, and Sitework	\$2,137,615	\$ 89.70
3	Concrete	\$70,861	\$ 2.97
4	Masonry	\$514,152	\$ 21.57
5	Metals	\$314,144	\$ 13.18
6	Wood, Plastics, & Composites	\$270,482	\$ 11.35
7	Thermal and Moisture Protection	\$151,432	\$ 6.35
8	Openings	\$727,604	\$ 30.53
9	Finishes	\$1,988,515	\$ 83.44
10	Specialties	\$25,033	\$ 1.05
11	Equipment	Not Used	\$ -
12	Furnishings	\$918,408	\$ 38.54
13	Special Construction	\$315,187	\$ 13.23
14	Conveying Systems	\$27,234	\$ 1.14
15	Mechanical and Plumbing	\$1,765,294	\$ 74.08
16	Electrical, Communications, Electrical Safety	\$917,748	\$ 38.51
Subtotal Direct Cost Totals		\$10,143,709	\$425.64
<i>General Contractor 4.5% Overhead & 6% Profit included above in the direct subtotal/detail costs</i>		Included Above	
	10.50% pct		
	General Conditions and General Requirements	\$1,267,964	\$53.21
	12.50% pct		
	Insurance	\$182,587	\$7.66
	1.80% pct		
	Estimating Contingency	\$1,739,139	\$72.98
	15.00% pct		
	Escalation is Excluded	\$0	\$0.00
	0.00% pct		
Grand Total		\$13,333,399	\$559

ALTERNATE ITEMS

Alternate #	Alternate Description	Total Cost of Alternate Item - (Note: Includes GC O&P, General Conditions, Insurance, Estimating Contingency)	DELTA FROM BASE BID ITEM
ALT #1	ALTERNATE OPTION: Remove 1970s brick cladding and cast stone belt courses, keystone, sills, and cornice. Maintain historic cast stone base. Install new cast stone cladding and anchoring system to mimic historic masonry redesign. Includes the cost of scaffolding rental, set up and take down labor.	\$1,193,140	\$608,260
ALT #2	Remove (3) existing aluminum entry (north, south, east) doors and transoms. Replace (North, South, East and West) door with custom Historic Replica wood door and frame.	\$79,571	\$ 36,798.70
ALT #3	Remove existing elevator and shaft. Construction new, larger CMU shaft	\$156,598	\$156,598

Division 1 - General Requirements					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
General Conditions and Requirements					
Included on the Summary page @ 12.5%					
Division 1 Subtotal					

Division 2 - Existing Conditions and Sitework					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Architectural and Structural Demolition					
Hazardous Materials					
Abate all hazardous materials throughout building per HazMat Report. Placeholder 12-18-2023	1	ls	\$650,000.00	\$650,000.00	\$720,005.00
Intrusive Element					
Remove intrusive partition walls at basement.	2055	sf	\$4.36	\$8,959.80	\$9,924.77
Remove deteriorated restrooms at basement, includes plumbing removal	498	sf	\$60.00	\$29,880.00	\$33,098.08
Remove intrusive drop ceilings at all offices and all floors.	21027	sf	\$0.72	\$358.56	\$397.18
Remove intrusive drop ceiling at District Courtroom.	2804	sf	\$0.72	\$15,139.44	\$16,769.95
Maintain existing historic plaster throughout building, remove intrusive skim coat at all walls and ceilings to historic finish per Finishes Conservator's recommendations. Typical throughout building.	105000	sf	\$0.85	\$89,250.00	\$98,862.23
Space Planning / Code Compliance					
Remove partition walls at first floor for redesign of former Tax Assessor's office as service space.	390	sf	\$4.36	\$1,700.40	\$1,883.54
Remove partition walls at second floor for redesign of former Justice of the Peace office as service space.	214	sf	\$4.36	\$933.04	\$1,033.53
Remove fixtures and associated plumbing at second floor single user restrooms.	160	sf	\$30.00	\$4,800.00	\$5,316.96
Remove deteriorated finishes at third floor ceilings from previous roof leak.	1740	sf	\$3.75	\$6,525.00	\$7,227.75
Demolition of selective partitions	4751	sf	\$4.36	\$20,714.36	\$22,945.30
Demo floor coverings	23831	sf	\$2.06	\$49,091.86	\$54,379.05
Mask cover and protection at interior, allowance <i>(See Div. 7 for all roofing demolition)</i>	1	ls	\$15,000.00	\$15,000.00	\$16,615.50
Code Compliance / Means of Egress					
Reopen window at west wall of penthouse for new egress door.	1	ea.	\$3,500.00	\$3,500.00	\$3,876.95
Remove entirety of non-code compliant south stair.	292	trd lf	\$170.00	\$49,640.00	\$54,986.23
Cut shaft opening at each floor for redesign of south stair.	390	sf	\$72.00	\$28,080.00	\$31,104.22
Remove Window Units/Doors					
Remove windows for salvage/reuse, protection	122	ea.	\$580.00	\$70,760.00	\$78,380.85
Remove all non-original doors	85	ea.	\$435.00	\$36,975.00	\$40,957.21
Deteriorated Mechanical Systems					
Demolition					
demo water closets	17	ea.	\$85.00	\$1,445.00	\$1,600.63
demo wall mt lavatories	15	ea.	\$60.00	\$900.00	\$996.93
demo water heaters	2	ea.	\$350.00	\$700.00	\$775.39
demo water distribution, 1.5" avg	23831	sf	\$0.35	\$8,340.85	\$9,239.16
demo roof/storm water drain piping	23831	sf	\$0.25	\$5,957.75	\$6,599.40
Load, haul and disposal	200	cy	\$45.00	\$9,000.00	\$9,969.30
Demolition HVAC					
Equipment and controls					
Remove existing HVAC Systems	1	ls	\$35,000.00	\$35,000.00	\$38,769.50
Remove ductwork and air devices	23831	sf	\$2.45	\$58,385.95	\$64,674.12
Exhaust systems	7	ea.	\$335.00	\$2,345.00	\$2,597.56
Remove controls	23831	sf	\$0.36	\$8,579.16	\$9,503.13
Electrical Systems Demolition					
All existing electrical service to be removed/demolished. Remove all existing electrical service switch gear, branch panels, receptacles, and distribution conduit / wiring.					
Demo existing fixtures, non-historic fixtures	23831	sf	\$1.35	\$32,171.85	\$35,636.75
Salvage historic light fixtures and associated wiring, includes protection, crating, storage during construction	23831	sf	\$2.50	\$59,577.50	\$65,994.00
Demo wire, conduit, devices	23831	sf	\$2.25	\$53,619.75	\$59,394.60
Demo panelboards	23831	ea.	\$1.25	\$29,788.75	\$32,996.99
Demo transformers	1	ea.	\$3,500.00	\$3,500.00	\$3,876.95
Debris load, haul, and disposal					
Load, haul and disposal, (included for all architectural and site demo) hauling/all labor/equip, See Demo Div. 15 and Div. 16 for Mechanical and Electrical Load, Haul, and Disposal)	2555	cy	\$55.00	\$140,525.00	\$155,659.55

Sitemwork and Site Demolition					
Pavement demolition at Parking	50	cy	\$185.00	\$9,250.00	\$10,246.23
Sitemwork, Renovation and Replacement					
Demolish existing metal ramp. Reconstruct cast-in-place ramp in the same location to conform to TAS requirements for slope, landings with concrete curb/retaining walls. similar to existing. Install new guardrail and TAS compliant handrails.	80	lf	\$1,477.50	\$118,200.00	\$130,930.14
Remove intrusive faux wood coating at north, east, and south exterior porch steps.	1800	sf	\$13.50	\$24,300.00	\$26,917.11
Restore original concrete finish of stairs.	950	sf	\$8.35	\$7,932.50	\$8,786.83
Concrete, 5" sidewalk at North Lawn	222	sy	\$82.00	\$18,204.00	\$20,164.57
Pavement repairs at Parking lot, driveways	10	ea.	\$325.00	\$3,250.00	\$3,600.03
Parking stalls, restripe and paint ADA, signage	240	sf	\$3.35	\$804.00	\$890.59
Restripe loading zone	1	ea.	\$15,000.00	\$15,000.00	\$16,615.50
Dumpster enclosure	6	ea.	\$4,600.00	\$27,600.00	\$27,600.00
Install differentiated but compatible light standards throughout site for added illumination, approximately 3 poles at both the north and south lawns.					
Landscaping & Site Drainage					
Landscaping					
Site grading, rough grade to increase positive drainage at site	2778	sy	\$3.75	\$10,417.50	\$11,539.47
Site grading, fine grade	2778	sy	\$3.10	\$8,611.80	\$9,539.29
Turf replacement	25	msf	\$1,265.00	\$31,625.00	\$41,657.24
Irrigation systems	25000	sf	\$1.10	\$27,500.00	\$36,223.69
Storm Drainage Piping, Regrade at Site, based on typical site size and assumptions.					
Excavation	667	cy	\$32.00	\$21,344.00	\$23,642.75
Gravel fill at drainage	60	cy	\$65.00	\$3,900.00	\$4,320.03
French drain system, 6" HDPE, double wall, perforated	500	lf	\$18.00	\$9,000.00	\$9,969.30
Fittings 40%	1	ls	\$3,600.00	\$3,600.00	\$3,987.72
Drainage, 6" storm drain	150	lf	\$135.00	\$20,250.00	\$22,430.93
Fittings 40%	1	ls	\$8,100.00	\$8,100.00	\$8,972.37
Backfill, general from stockpile, compacted	607	cy	\$35.00	\$21,245.00	\$23,533.09
Division 2 Subtotals Including 10.5% GC O&P				\$1,921,277.82	\$2,137,615.14

Division 3 - Concrete (Interior)					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Concrete at interior					
Repair deteriorated concrete beams at third floor ceiling damaged in previous roof leak. Structural to review concrete structure during CD development and selective demo for additional repair scope.	120	cy	\$365.00	\$43,800.00	\$48,399.00
Provide new cast-in-place concrete landings at interior south stair.	462	sf	\$44.00	\$20,328.00	\$22,462.44
For any concrete outside of the building structure, refer to Division 2 - Sitework and Existing Conditions					
Division 3 Subtotals Including 10.5% GC O&P				\$64,128.00	\$70,861.44

Division 4 - Masonry							
Description	Qty	Units	Cost Unit	Sub Total	GC Overhead	GC Profit	Total w/O&P
Remove intrusive paint coatings down to original cast stone surface. Repoint and clean entire cast stone base.	3824	sf	\$14.25	\$54,492.00	\$2,452.14	\$3,416.65	\$60,360.79
Repair cracks at north porch cheek walls and associated planters.	1	ls	\$9,660.00	\$9,660.00	\$434.70	\$605.68	\$10,700.38
BASE BID: Maintain 1970s brick cladding. Clean entire brick surface using non-abrasive methods including chemical cleaning and low pressure power washing. Repoint empty or deteriorated joints. Include skyward joints and 20% of surface area for base bid. Includes the cost of scaffolding rental, set up and take down labor.	13000	sf	\$30.77	\$400,010.00	\$18,000.45	\$25,080.63	\$443,091.08
Division 4 Subtotals Including 10.5% GC O&P				\$464,162.00	\$20,887.29	\$29,102.96	\$514,152.25
ALTERNATE OPTION: Remove 1970s brick cladding and cast stone belt courses, keystone, sills, and cornice. Maintain historic cast stone base. Install new cast stone cladding and anchoring system to mimic historic masonry redesign. Includes the cost of scaffolding rental, set up and take down labor.	13000	sf	\$62.77	\$816,010.00	\$36,720.45	\$51,163.83	\$903,894.28
ALTERNATE OPTION DELTA							\$903,894.28

Division 5 - Metals					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Steel lateral bracing allowances	5.0	tons	\$6,200.00	\$31,000.00	\$34,338.70
connections	10%			\$34,338.70	\$3,433.87
add for small joist lot	35%			\$37,772.57	\$13,220.40
Structural to review condition of all door and window lintels. Repair or replace. Prime and Paint.					
Provide thin gauge steel framing at all new partition walls. Refer floor plans.					
Install new steel egress stair assembly from basement to penthouse as illustrated on floor plans.	1	ls	\$45,000.00	\$45,000.00	\$49,846.50
Provide new steel handrails at all exterior and interior stairs per ADA/TAS.	500	lf	\$135.00	\$67,500.00	\$74,769.75
Restore and recondition vault doors. Approximately 3.	3	ea.	\$25,000.00	\$75,000.00	\$83,077.50
Division 5 Subtotals Including 10.5% GC O&P				\$290,611.27	\$314,143.72

Division 6 - Wood and Plastics					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Millwork, protection and restoration					
Review survey all interior woodwork including picture molds, base trim, door/window trim, and wood paneling (District Courtroom) for (a) verification of historic capacity and (b) damage and/or loss. Provide survey of all woodwork; document all historic for replication. Original woodwork is extant in most locations.	23831	sf	\$4.75	\$113,197.25	\$125,388.60
Maintain existing wood base, chair rails, trim, etc. Repair as needed. Restore, refinish. Where missing, reconstruct missing components. Provide dutchmen where needed to make repairs; match species, grain, color and finish. Typical all offices.	23831	sf	\$2.85	\$67,918.35	\$75,233.16
Provide cabinets and built-ins per floor plans and County requirements.	23831	sf	\$3.75	\$89,366.25	\$98,990.99
Division 6 Subtotals Including 10.5% GC O&P				\$270,481.85	\$270,481.85

Division 7 - Thermal and Moisture Protection					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Roofing Coverings					
Maintain existing roofing at main roof and penthouse. (Maintenance/Protection if needed during project)	5920	sf	\$2.75	\$16,280.00	\$18,033.36
In CD development, investigate water leaks above entry doors. Remove and replace roofing and flashing at small flat roofs above entry doors if required.	480	sf	\$60.00	\$28,800.00	\$31,901.76
In CD development, investigate condition of integrated roof drainage system. Design Team to calculate roof drainage requirements and add additional downspouts if required.	5920	sf	\$3.75	\$22,200.00	\$24,590.94
Waterproofing at (see Div 15 Plumbing for Storm Drainage)					
In CD development, investigate condition of areaways and basement drainage system. Design Team to calculate drainage requirements and replace plumbing.	5920	sf	\$3.90	\$23,088.00	\$25,574.58
Trench perimeter of building and coat foundation wall with bentonite clay approximately 6' below grade. Install below grade french drainage / storm water management system. Back fill trench and repair turf/landscaping as required.	2820	sf	\$30.15	\$85,023.00	\$94,179.98
Exterior sealants, general	23831	sf	\$0.75	\$17,873.25	\$19,798.20
Interior sealants, general	23831	sf	\$0.45	\$10,723.95	\$11,878.92
Division 7 Subtotals Including 10.5% GC O&P				\$136,708.20	\$151,431.68

Division 8 - Openings					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Doors					
Interior Door Units	66	ea.	\$3,300.00	\$217,800.00	\$241,257.06
Add Alt: Exterior Doors - Maintenance and/or Repair	3	ea.	\$4,500.00	\$13,500.00	\$14,953.95
Add Alt: Exterior Doors - Maintenance and/or Repair (1) 3070 HM door unit	1	ea.	\$2,560.00	\$2,560.00	\$2,835.71
Window Systems					
Exterior Wood Windows	62	ea.	\$1,500.00	\$93,000.00	\$103,016.10
Exterior Replacement Windows	60	ea.	\$5,500.00	\$330,000.00	\$365,541.00
Division 8 Subtotals Including 10.5% GC O&P				\$656,860.00	\$727,603.82
Add Alternate Exterior Doors					
Add Alt: Exterior Doors - Maintenance and/or Repair	3	ea.	\$16,055.00	\$48,165.00	\$53,352.38
Add Alt: Exterior Doors - Maintenance and/or Repair (1) 3070 HM door unit	1	ea.	\$6,255.00	\$6,255.00	\$6,928.67
DOOR ALTERNATE DELTA					\$60,281.05

Division 9 - Finishes					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Floors					
Note the finishes outlined below are pertinent to all interior spaces and are meant to be general and descriptive of the overall restoration program.					
Finishes Restoration					
	Develop survey and working drawings to identify finishes to be demolished or replaced/preserved and repaired; identify substrates requiring replacement or repairs.				
Concrete Floors	17873	sf	\$9.65	\$172,474.45	\$191,049.95
	Survey existing concrete floor for cracks or defects. Historic Materials Conservator to verify original finish. Repair cracks and damaged areas. Remove intrusive coatings and refinish to match historic appearance.				
Concrete Stairs	625	sf	\$4.65	\$2,906.25	\$3,219.25
	Remove intrusive coats at concrete main and north stair. Refinish according to Historic Materials Conservator's report.				
Vinyl Tile Flooring	2979	sf	\$13.80	\$41,110.20	\$45,537.77
	Historic Materials Conservator to review. Contingent on findings, remove intrusive vinyl tile flooring at all offices and courtrooms. Restore original flooring.				
Faux Wood Flooring	2979	sf	\$13.80	\$41,110.20	\$45,537.77
	Remove faux wood flooring where occurs. Restore original flooring.				
Carpet	575	sy	\$52.00	\$29,900.00	\$33,120.23
	Remove intrusive carpet at offices and District Courtroom. Restore original flooring.				
Ceilings					
Plaster Ceiling	13800	sf	\$16.25	\$224,250.00	\$248,401.73
	Repair, restore, paint original plaster ceilings at all spaces. Repair in conjunction with installation of MEP equipment. Typical throughout building.				
Deteriorated Plaster Ceiling	9960	sf	\$24.50	\$244,020.00	\$270,300.95
	At District Courtroom and former Commissioners Court at third floor, plaster ceilings have been severely damaged by a previous roof leak. Remove damaged plaster.				
Finishes at ceilings	23760	sf	\$2.75	\$65,340.00	\$72,377.12
Walls					
Plaster Walls	74220	sf	\$5.80	\$430,476.00	\$476,838.27
	Repair deteriorated plaster. Repair in conjunction with trenching for electrical service. Composition to match historic mixture. Refinish, paint. If intrusive texture is present, removed and replicate historic finish. Typical throughout building.				
Drywall - Blue Board	21450	sf	\$8.25	\$176,962.50	\$196,021.36
	Partitions New - Provide drywall at all new interior partitions as illustrated on the Proposed Floor Plans. Drywall finish to match historic plaster in kind. Provide moisture resistant drywall at restrooms.				
Tile Wainscot	4830	sf	\$10.71	\$51,729.30	\$57,300.55
	Maintain historic tile wainscot at first and second floor central corridors and main stair. Clean and polish.				
Ceramic Tile w/backer	2160	sf	\$15.63	\$33,760.80	\$37,396.84
	Building Code requires that all restrooms have waterproof finishes. Install new ceramic tile at floor and walls at all restrooms.				
Wood Paneling, solid, repair, sand, and refinish	5550	sf	\$3.25	\$18,037.50	\$19,980.14
	Maintain historic wood paneling located at District Courtroom. Document condition. Repair, restore, refinish all original historic paneling.				
General Painting	86102	sf	\$2.25	\$193,729.50	\$214,594.17
	All walls and ceilings throughout building to receive new paint per Historic Materials Conservator's report.				
Decorative Paint	4784	sf	\$5.25	\$25,116.00	\$27,820.99
	If found by Historic Materials Conservator, restore decorative paint. 5% allowance placeholder				
Decorative / Ornamental Plaster	4784	sf	\$9.25	\$44,252.00	\$49,017.94
	If found by Historic Materials Conservator, restore decorative plaster work. 5% allowance placeholder				
Division 9 Subtotals Including 10.5% GC O&P				\$1,795,174.70	\$1,988,515.03

Division 10 - Specialties					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Restroom Accessories					
24"/48" mirror	11	ea.	\$341	\$3,751.00	\$4,154.99
Toilet Paper Holder	9	ea.	\$45	\$405.00	\$448.62
Grab Bar 36"	9	ea.	\$94	\$846.00	\$937.11
Grab Bar 42"	9	ea.	\$119.00	\$1,071.00	\$1,186.35
Paper Towel Dispenser	9	ea.	\$90.43	\$813.87	\$901.52
Liquid Soap Dispenser	9	ea.	\$91.38	\$822.42	\$911.00
Room signage	66	ea.	\$175.00	\$11,550.00	\$12,793.94
Install new fire extinguishers and cabinets at each level per building code.	4	ea.	\$835.00	\$3,340.00	\$3,699.72
During CD development, determine in conjunction with Owner if high density file storage is required.					
Division 10 Subtotals Including 10.5% GC O&P				\$22,599.29	\$25,033.25

Division 11 - Equipment					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Not used at this time					
Division 11 Subtotals Including 10.5% GC O&P					

Division 12 - Furnishings					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Document historic furnishing throughout building to include District Courtroom Benches, Railings, Judge's Bench, and Jury Box / Seats. Develop program for retention and protection of all built-in items; remove and store all moveable furniture items.	23831		\$0.75	\$17,873.25	\$19,798.20
Document historic furnishing throughout building to include counters, built-ins, large metal storage tables, and other historic office furniture. Develop program for retention and protection of all built-in items; remove and store all moveable furniture items.	23831		\$0.75	\$17,873.25	\$19,798.20
Document presence of historic window treatments, if any exist.	23831		\$0.35	\$8,340.85	\$9,239.16
Pre-construction moving costs, materials, labor	6250	mh	\$61.50	\$384,375.00	\$425,772.19
Post-construction moving costs, materials, labor	5500	mh	\$61.50	\$338,250.00	\$374,679.53
Storage per month	24	mo.	\$2,600.00	\$62,400.00	\$69,120.48
Division 12 Subtotals Including 10.5% GC O&P				\$829,112.35	\$918,407.76

Division 13 - Special Construction					
Description	Qty	Units	Cost Unit	Total w/O&P	GC Total
Fire Suppression System					
Complete new system, piping, heads, note complicated pipe routing	23831	sf	\$6.35	\$151,326.85	\$167,624.75
Standpipes	23831	sf	\$1.08	\$25,737.48	\$28,509.41
Fire Detection and Alarm System					
Fire Alarm, install complete system	23831	sf	\$3.35	\$79,833.85	\$88,431.95
Lightning Protection					
Lightning Protection System (rooftop)	23831	sf	\$1.16	\$27,643.96	\$30,621.22
Division 13 Subtotals Including 10.5% GC O&P				\$284,542.14	\$315,187.33

Division 14 - Conveying Systems					
Description	Qty	Units	SUB	Sub Total	GC Total
Maintain existing CMU shaft. Install new ADA/TAS compliant electric traction, machine-room less elevator cab and mechanism per manufacturer's standards.	4	stops	\$57,500	\$230,000.00	\$254,771.00
Elevator Finishes					
Paneled walls	350	sf	\$45	\$15,750.00	\$17,446.28
Flooring	60	sf	\$88	\$5,280.00	\$5,848.66
Ceiling	60	sf	\$36	\$2,160.00	\$2,392.63
Light fixtures	2	ea.	\$698	\$1,396.00	\$1,546.35
Division 14 Subtotals Including 10.5% GC O&P				\$24,586.00	\$27,233.92
Add Alternate Elevator shaft (added replacement of elevator shaft)					
Remove existing elevator and shaft. Construction new, larger CMU shaft	2550	sf	\$42	\$107,100.00	\$118,634.67

Division 15 - Mechanical and Plumbing Systems					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Mechanical					
New HVAC Equipment					
Install new VRV heat pump HVAC system throughout building. Conceal all equipment and accessories. Mount condensing units at roof. Conceal refrigerate, condensate, and wiring at interior walls and ceilings. Connect condensate lines to code compliant drainage system.	120	tons	\$4,680.00	\$561,600.00	\$622,084.32
Ductwork					
Ductwork, galvanized	19089	lbs.	\$8.85	\$168,937.65	\$187,132.23
Insulation at ductwork	13500	sf	\$5.75	\$77,625.00	\$85,985.22
Insulation at ductwork	3750	sf	\$11.33	\$42,487.50	\$47,063.41
Exhaust systems at new rest room layouts	9	ea.	\$2,480.00	\$22,320.00	\$24,723.86
Devices, sidewall diffusers, includes opposed blade dampers					
Air devices	23831	sf	\$2.00	\$47,662.00	\$52,795.20
Controls, DDC	23831	sf	\$4.35	\$103,664.85	\$114,829.56
Testing, adjusting, balancing at all systems	23831	sf	\$0.75	\$17,873.25	\$19,798.20
Condensate drainage 1-1/4" avg.	23831	sf	\$1.15	\$27,405.65	\$30,357.23
Plumbing					
The current restroom layout does not meet code requirements or the County's functional needs. The gang restrooms at the basement are out of commission, which leaves two single user restrooms at the basement and second floor to support the building. The proposed floor plans illustrate new restroom facilities that meet the code required fixture county based on occupancy.					
New Plumbing Fixtures					
Water closets, carriers, flush valves	9	ea.	\$3,960.00	\$35,640.00	\$39,478.43
Urinals, carriers, flush valves	10	ea.	\$3,170.00	\$31,700.00	\$35,114.09
Lavatory, carriers, faucets, local drain piping	11	ea.	\$2,960.00	\$32,560.00	\$36,066.71
Electric water cooler, bi-level w/filler, ADA compliant 1st and 2nd floor	2	ea.	\$3,300.00	\$6,600.00	\$7,310.82
Pipe, DCW, main runs, insulated					
DCW piping replacement	18231	sf	\$3.25	\$59,250.75	\$65,632.05
Pipe, DHW, insulated					
Install circulating hot water system at basement to serve all restrooms at all floors.	18231	sf	\$5.25	\$95,712.75	\$106,021.01
Pipe, Vent and Vent-to-Riser, hangers					
VTR piping	23831	sf	\$2.00	\$47,662.00	\$52,795.20
Pipe, Sanitary Sewer Drainage					
Replace all sanitary waste piping	23831	sf	\$4.22	\$100,566.82	\$111,397.87
Pipe, Storm Drainage, Roof Drainage					
Replace all storm and roof drainage	23831	sf	\$4.80	\$114,388.80	\$126,708.48
Division 15 Subtotals Including 10.5% GC O&P				\$1,593,657.02	\$1,765,293.89

Division 16 - Electrical, Communications and Electronic Safety					
Description	Qty	Units	Cost Unit	Sub Total	Total w/O&P
Electrical					
Electrical, Safety & Security Demolition					
Power Distribution					
The main distribution panel currently mounted to the exterior of the building. Remove. Install new at basement mechanical room.					
Switchgear, branch panelboards (Relocate MDP to Basement Mechanical Room)	23831	sf	\$4.35	\$103,664.85	\$114,829.56
Wire, conduit, lighting and branch distribution	23831	sf	\$12.50	\$297,887.50	\$329,969.99
Equipment and panel feeders	23831	sf	\$1.25	\$29,788.75	\$32,996.99
New Light Fixtures					
Survey all spaces to document locations of extant historic light fixtures. Evaluate condition.					
Restore all historic light fixtures. If fixtures are missing, replicate to match historic.					
Lighting, interior, historic fixture replacement assumptions based on 25%	5957.75	sf	\$12.00	\$71,493.00	\$79,192.80
Exit lighting, edge lit led	23831	sf	\$1.10	\$26,214.10	\$29,037.35
Emergency lighting, twin beam, led	23831	sf	\$0.55	\$13,107.05	\$14,518.68
Exterior lighting	23831	sf	\$1.50	\$35,746.50	\$39,596.40
Lighting controls, interior	23831	sf	\$1.25	\$29,788.75	\$32,996.99
Lighting controls, exterior	23831	sf	\$0.55	\$13,107.05	\$14,518.68
See Division 2 tab for Site Lighting					
New Power Devices					
Receptacles, duplex and gfci	23831	sf	\$1.10	\$26,214.10	\$29,037.35
Switches, wall mt, lighting	23831	sf	\$2.25	\$53,619.75	\$59,394.60
Communications/Network Data/AV Systems/Fire Alarm					
Data and Network					
Data Infrastructure	20116	sf	\$1.35	\$27,156.60	\$30,081.37
Data connections	20116	sf	\$1.85	\$37,214.60	\$41,222.62
All new data lines and rough-in to be incorporated into restoration design. Telecommunications and internet equipment for all offices and audio/visual systems for Courtrooms should be contained and hidden as part of this phase. Upgrades to existing systems will be further delineated with County and consultants in Phase 2.					
Access Controls					
Install new metal detector and security station at main public entry, includes all material, labor, and equipment (Station must not interfere with the historic elements of the corridor).	1	ea.	\$6,500.00	\$6,500.00	\$7,200.05
A/V systems - need scope of work see below					
A/E should include fee for CD development includes a performance specification for A/V systems. If additional analysis and design is required, Owner to consult third party A/V designer to develop a scope of work.					
Security System, install complete system	23832	sf	\$2.65	\$63,154.80	\$69,956.58
Division 16 Subtotals Including 10.5% GC O&P				\$834,657.40	\$917,748.23

Potential Funding Sources

Beyond the THC's Texas Historic Courthouse Preservation Program funding, counties seeking to restore their historic building have utilized other funding sources. These include:

Typical Funding for Construction

- General County Budget Allocation
- Public Bond Referendum
- Certificates of Obligation

Alternative Funding for Construction

*Note – any federal or other state funding sources are eligible as match funds.

- USDA Grants – Community Facilities Loan and Grant Program
- Texas Governor's Office of Economic Development and Tourism or regional economic development districts funds
- River Authorities
- Texas Parks & Wildlife (TPWD) – In the past, several courthouses utilized an "urban park" grant program through TPWD. They were able to justify enhancing the courthouse square for their eligibility, usually limited to about \$30-50,000.
- TXDOT – Security Camera Grants
- Private Sector Funding - Occasionally, counties have used private sector individuals, foundations, or corporate support to fund their projects. For instance, Lampasas Friends group donated about \$60,000 by raising annual funds. They hosted Pioneer Days for about six years and a state-renowned Quilt Fair to raise the funds. They also sold bandanas and t shirts with the courthouse image on them for several years.



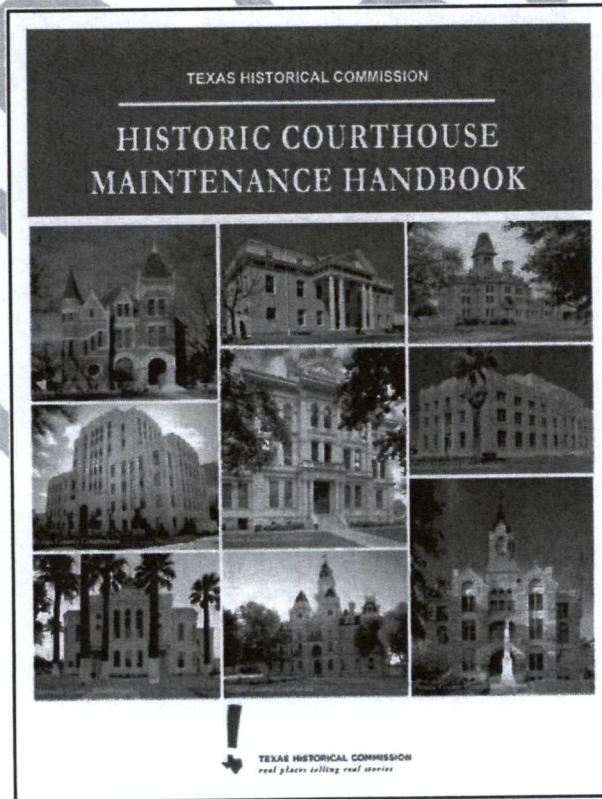
Building Maintenance Schedule

The key to preserving a historic building long term is regular, planned maintenance. There is no such thing as a maintenance free building and if maintenance is deferred, significant time and money can be spent fixing the issue. The schedule on the following pages outlines in general when regular inspections and maintenance tasks should occur.

In addition to the Building Maintenance Schedule, Delta County should also utilize the Texas Historical Commission (THC) Historic Courthouse Maintenance Handbook, which is designed to help facilities directors, maintenance and housekeeping staff, and county officials maintain their historic courthouse buildings. This handbook offers straightforward tools to assist counties in planning and conducting basic cyclical maintenance. If used as intended, this handbook also helps justify maintenance and staffing budgets, supports fundraising efforts for repairs and restoration, offers transparency for money spent, and helps make the case for the importance of maintenance.

Each chapter addresses a different building element, how to assess the condition of the element, typical issues to look for, and a checklist template to use for the assessment. The handbook can be printed and used as reference book for County staff.

The full handbook is available for download here - <https://www.thc.texas.gov/preserve/projects-and-programs/texas-courthouse-stewardship/historic-courthouse-maintenance-handbook>



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KOMATSU
ARCHITECTURE

Project Number – 2023.129

DELTA COUNTY APPRAISAL DISTRICT
VOL QQ **PAGE 810**

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To Whom It May Concern:

December 15, 2023

RE: Delta County Appraisal District Board of Directors for 2024 – 2025
Selected as per Section 6.03 of the Texas Property Tax Code.

The governing bodies of each taxing unit entitled to vote for the 2024 - 2025 Board of Directors for the Delta County Appraisal District have submitted their resolutions casting their eligible votes to the nominated candidates of their choice. The five candidates receiving the largest cumulative vote totals are:

Allen Beeler
Thomas Darden
Dan Roffee
Jeff Snowden
Shawn Stegall
*Dawn Moody, TAC

**As per section 6.03 of the Texas Property Tax Code, if the county assessor-collector is not appointed to the board, the county assessor-collector serves as a nonvoting director.*

These six candidates are declared elected for 2024 – 2025 Board of Directors of Delta County Appraisal District as required and in compliance with Section 6.03 of the Texas Property Tax Code.

I look forward to working with you.

Respectfully,

A handwritten signature in cursive script that reads "Kim Gregory".

Kim Gregory RPA, CCA
Delta CAD Chief Appraiser
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